

PROJECT SUMMARY

Address	2912 Ocean Drive, Manhattan Beach, CA
Zone	Area III-RH, Coastal Zone
Building Type	Singel Family Residence
Number of Stories (E)	Two (2) Story
Number of Stories (P)	Three (3) Story
Lot Size	689.31 SF (23' x 29.97')
Legal Description	APN # 4176-028-007 SE 23 ft of Lot 4, Block 8, Peck's Manhattan Beach Tract
Project Description	Remodel of existing two (2) story residence with attached non-conforming garage with addition of a third story on top of existing non-conforming walls including updated mechanical, electrical, and plumbing as well as structural updates as needed or required.

PROJECT DATA

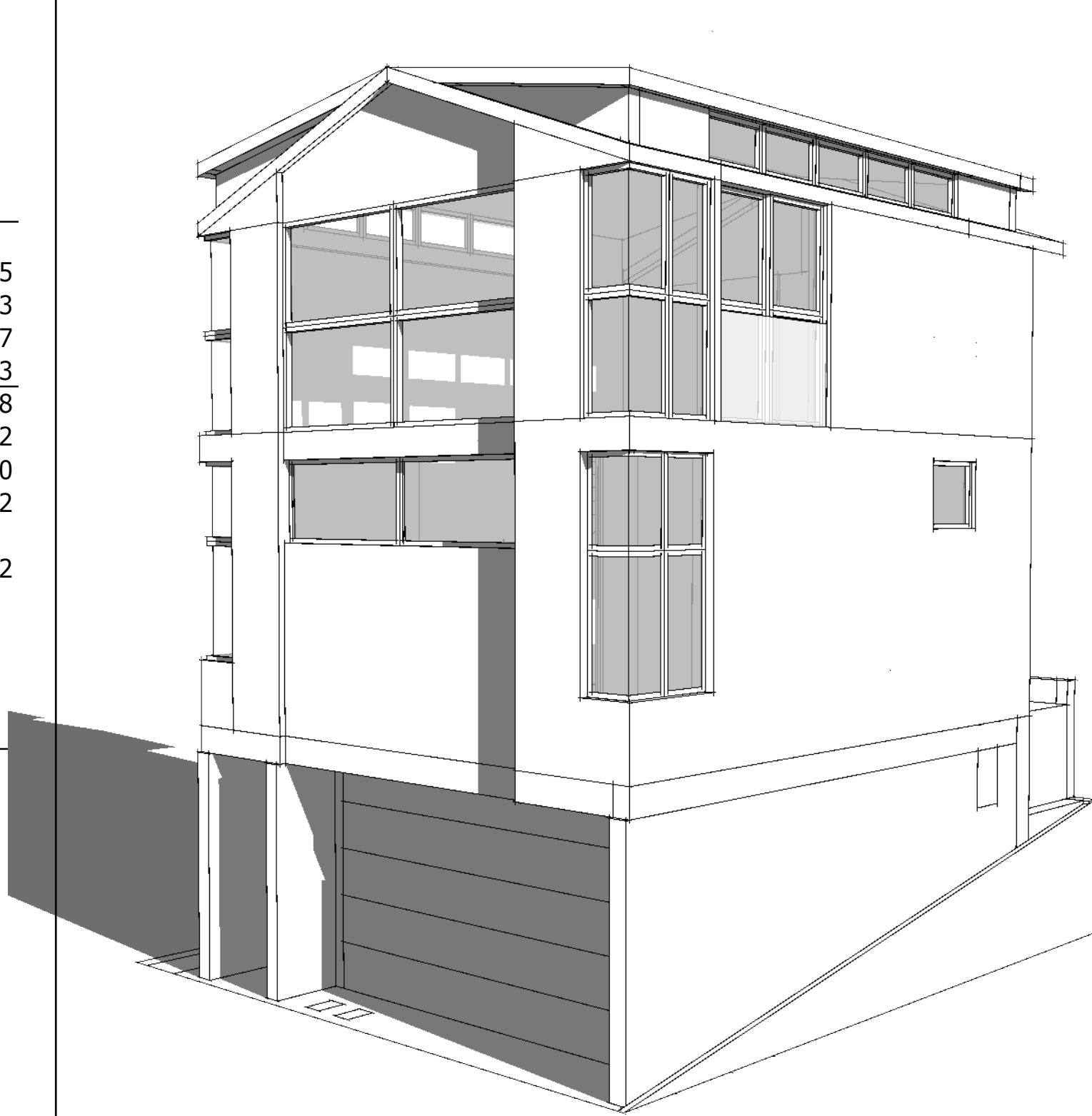
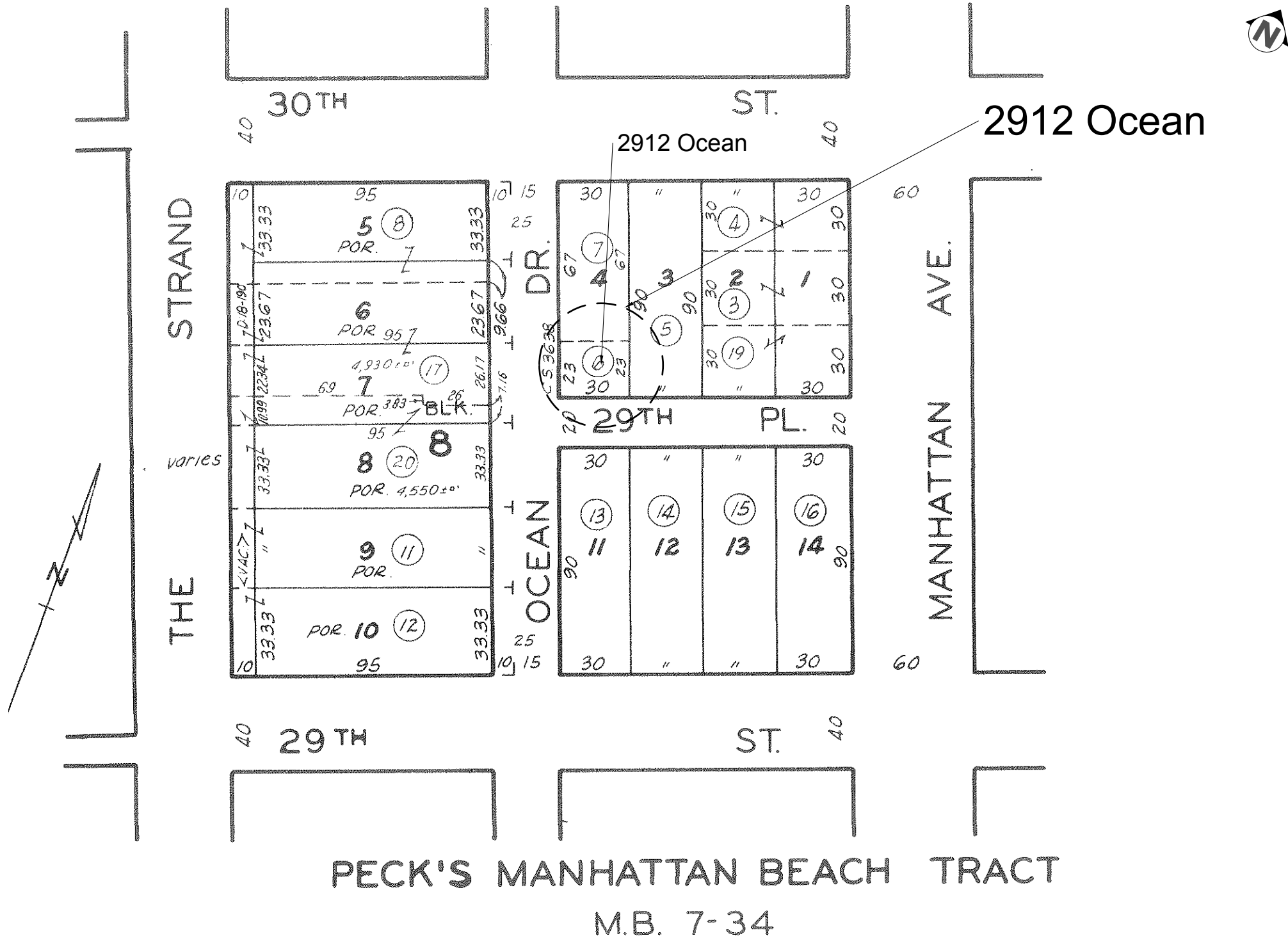
Buildable Floor Area			
Allowable	1,171.83 S.F.	(689.31 x 1.7)	
Proposed	1,015.62 S.F.		

Building Calculation			
	Existing	New	Total
	Square Footage	Square Footage	Square Footage
First Floor	100	-37	63
Second Floor	488	7	495
Third Floor	0	495	457.62
Total Livable	588	465	1,015.62
Garage	321	20	341

Open Space		Height Calculation	
Required Min SF:	220 (151 SF At 15% of BFA)	Northwest	20.65
Proposed SF:	124.69	Northeast	26.33
		Southeast	25.17
		Southwest	19.53
	Existing	Proposed	
	Square Footage	Square Footage	
East - Rear Yard	124.69	124.69	Average Grade
Second Floor	0	30.37 (not counted)	Plus
	124.69	124.69	Total Max. Height
Not providing 15% Open Space	124.69 SF < 220 SF	Proposed	52.92
Northeast Corner = 27.74' + 26.08' + 25.17' divided by 3 = 26.33'			

Notes	
New permanent easment of southerly 2' of 2916 Ocean for exclusive use by 2912 Ocean at North Side Yard.	
Nonconformities include Front Setback, Sideyard Setback, Corner Side Setback, Open Space, Driveway Visibility and 2-Car Parking min.requirements.	

VICINITY MAP



SHEET INDEX

COVER SHEET
A 01 SITE PLAN
A 02 SITE PLAN - NORMAL VS. PROPOSED
A 03 SURVEY
A 04 RECORDED EASEMENT
A 05 DEMO PLAN
A 06 FIRST FLOOR - EXISTING/PROPOSED
A 07 SECOND FLOOR - EXISTING/PROPOSED
A 08 THIRD FLOOR - EXISTING/PROPOSED
A 09 WEST/EAST - EXISTING PROPOSED ELEVATIONS
A 10 NORTH/SOUTH - EXISTING PROPOSED ELEVATIONS
A 11 SECTIONS
A 12 SECTIONS
A 13 RENDERINGS
A 14 RENDERINGS - VICINITY
A 15 EASEMENT PHOTOS

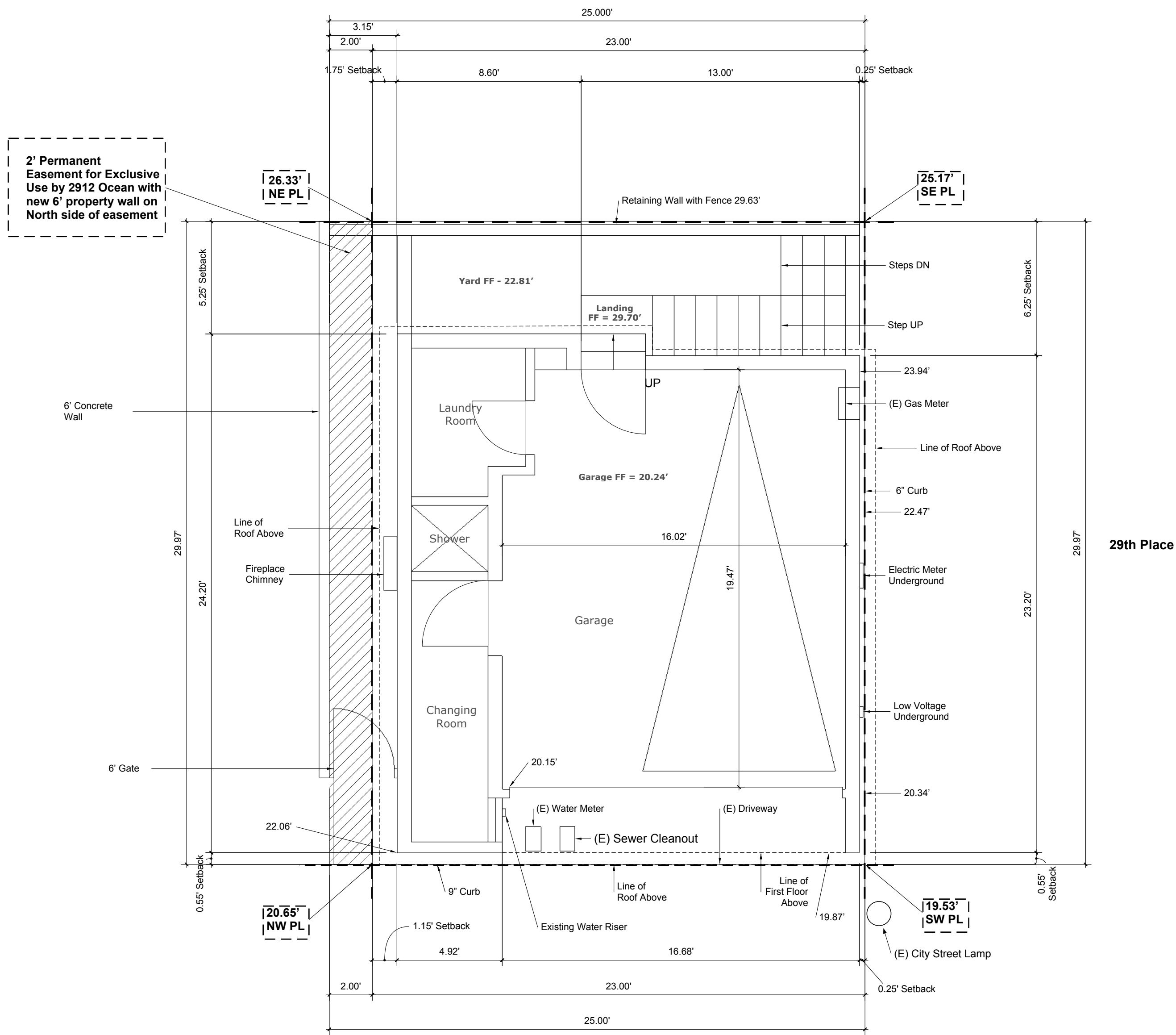
DIRECTORY

DESIGNER/GENERAL CONTRACTOR
JEFFREY J. STRNAD
BEACH HOUSE DESIGN & DEVELOPMENT
1400 N. POINSETTIA AVE
MANHATTAN BEACH, CA 90266
310-546-3000
CA LIC. 862582
WWW.DESIGNBUILDINVEST.COM

CIVIL ENGINEERING
P.A. ACRA ENGINEERING
500 EAST CARSON PLAZA DRIVE
SUITE 201
CARSON, CA 90746
310-768-3828
CA LIC. 29918

DEPARTMENT OF PUBLIC WORKS NOTES

BEACH HOUSE RESIDENCE - REMODEL

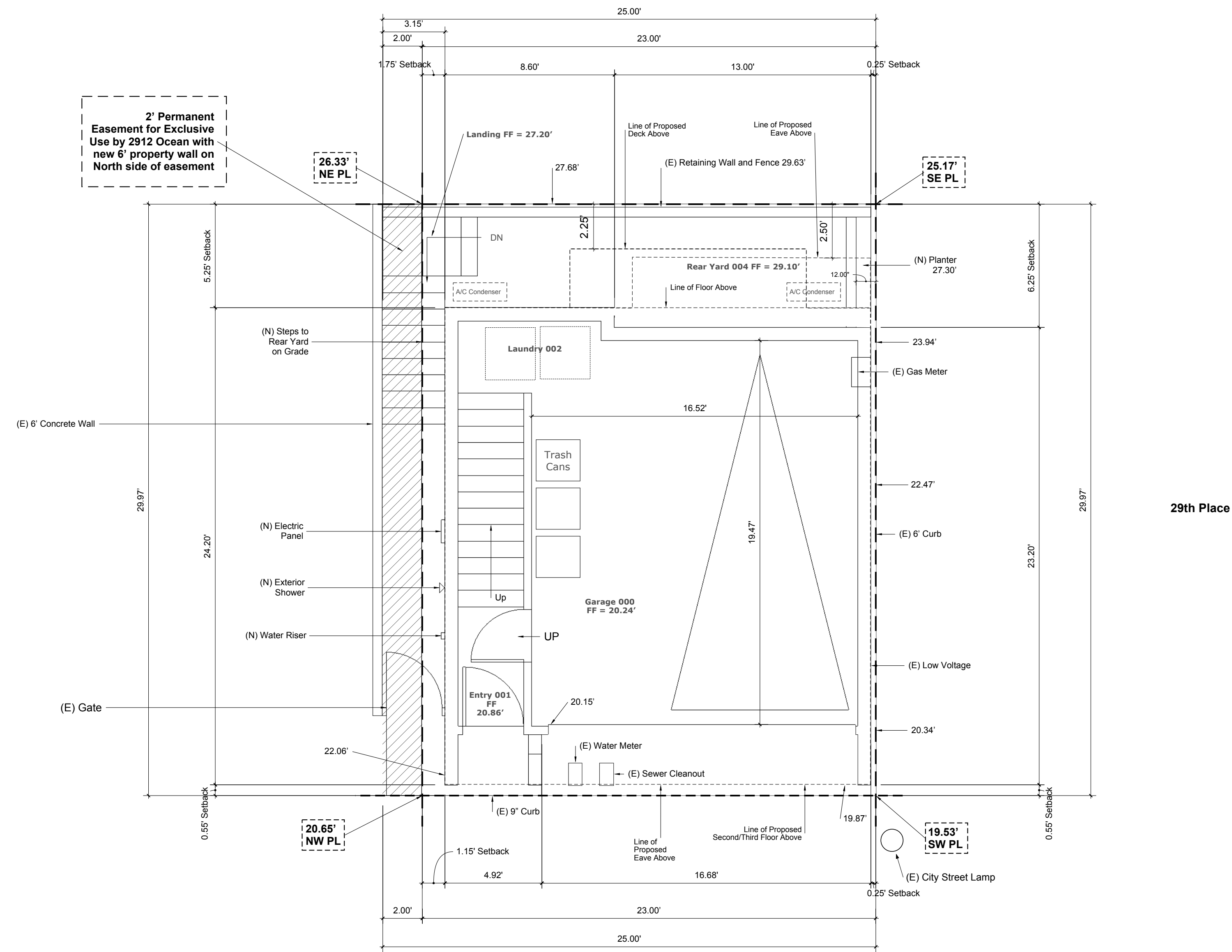
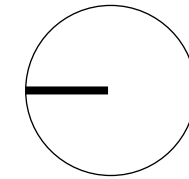


1
A0.1
Existing Site Plan
Scale: 1/4" : 1'

LEGEND

NE	NORTHEAST
SE	SOUTHEAST
SW	SOUTHWEST
NW	NORTHWEST
PL	PROPERTY LINE
E	EXISTING
P	PROPOSED
N	NEW
TC	TOP OF CURB
FF	FINISH FLOOR
DN	DOWN
XXX	ROOM NUMBER
xxx.x	WINDOW NUMBER
xxx.x	DOOR NUMBER

north



2
A0.1
Proposed Site Plan
Scale: 1/4" : 1'

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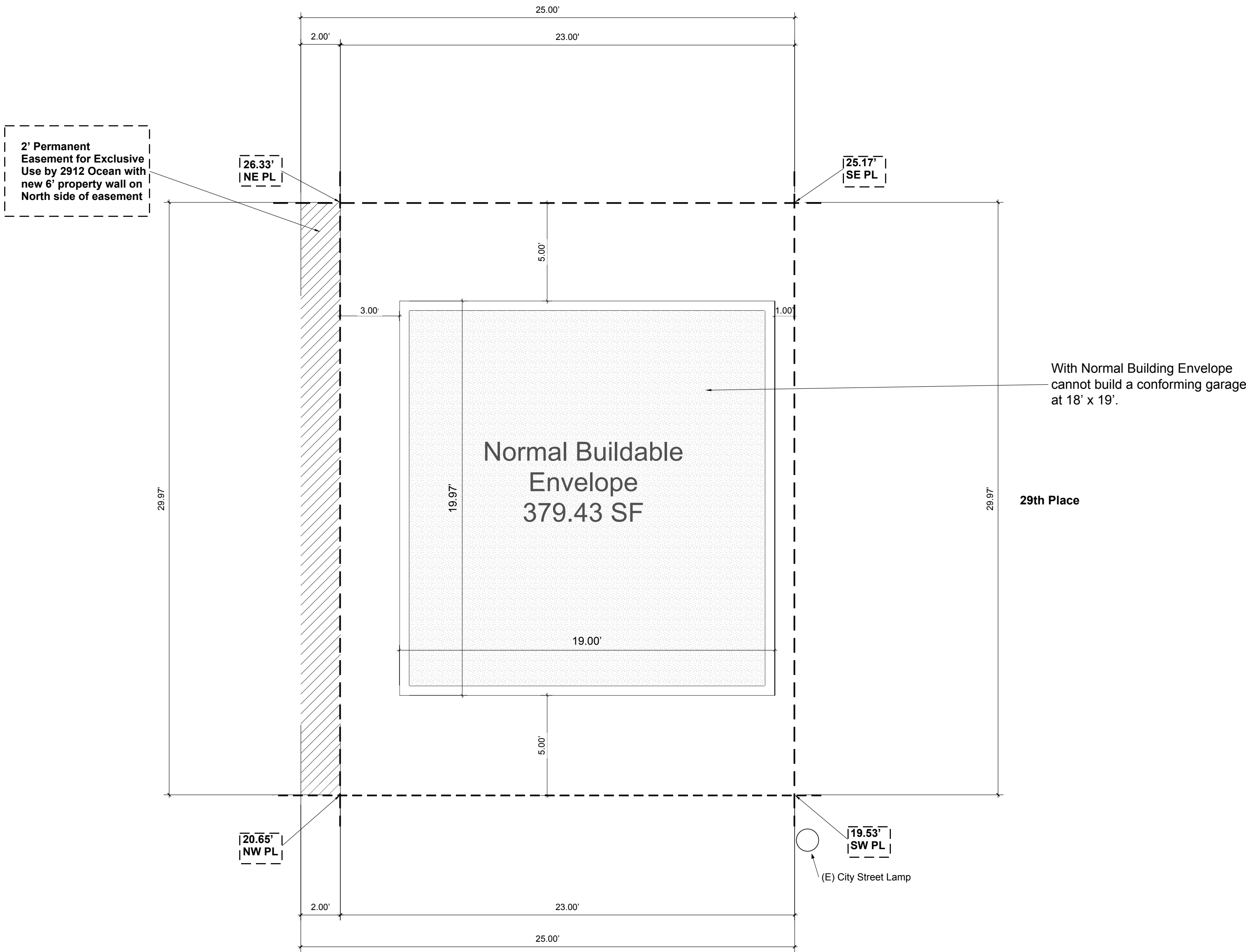
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beach house 2912

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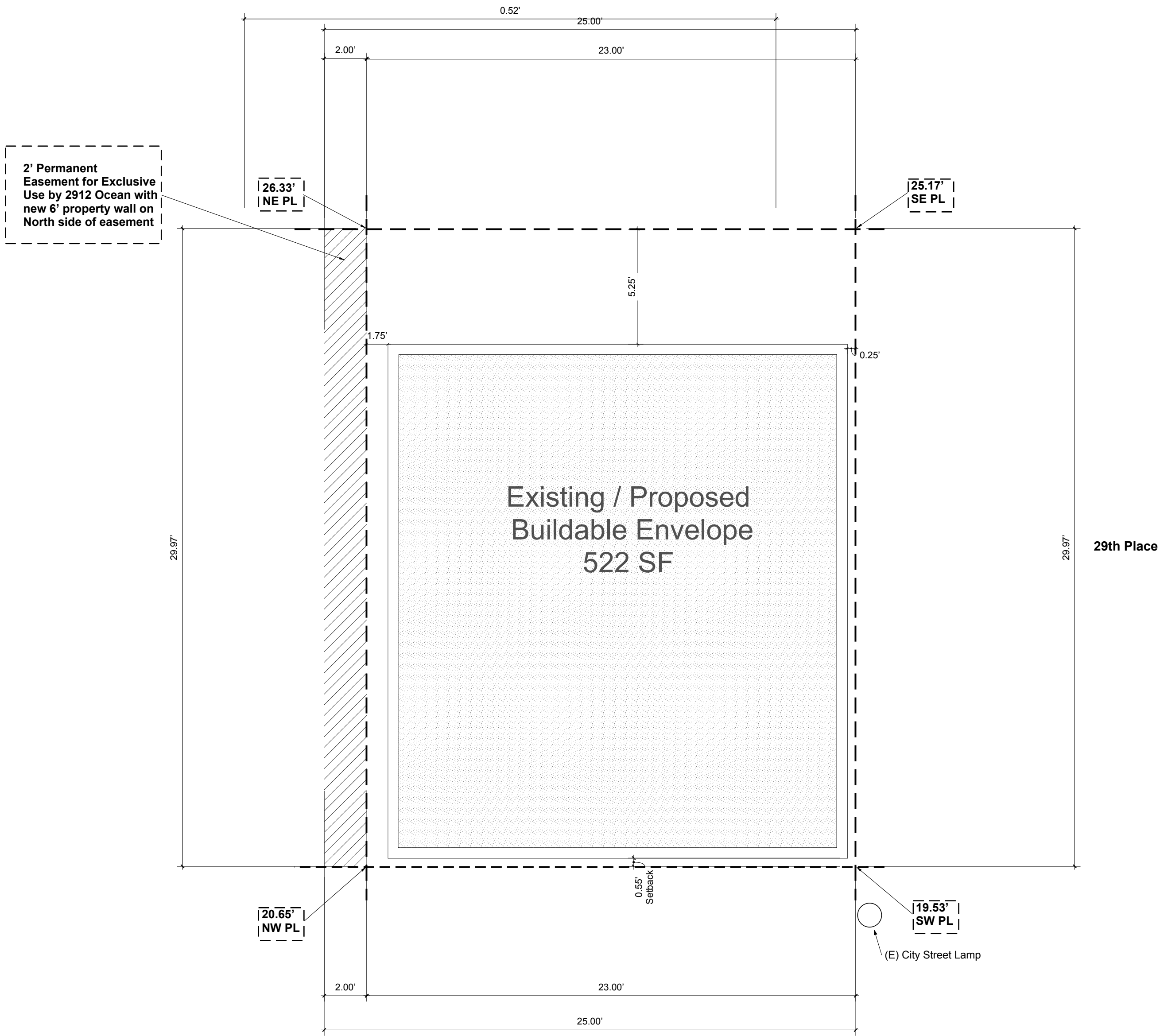
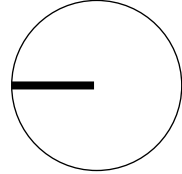


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A0.1
Normal Site Plan
Scale: 1/4" : 1'

LEGEND

NE	NORTHEAST
SE	SOUTHEAST
SW	SOUTHWEST
NW	NORTHWEST
PL	PROPERTY LINE
E	EXISTING
P	PROPOSED
N	NEW
TC	TOP OF CURB
FF	FINISH FLOOR
DN	DOWN
XXX	ROOM NUMBER
xxx.x	WINDOW NUMBER
xxx.x	DOOR NUMBER

north



1
A0.1
Existing/Proposed Site Plan
Scale: 1/4" : 1'

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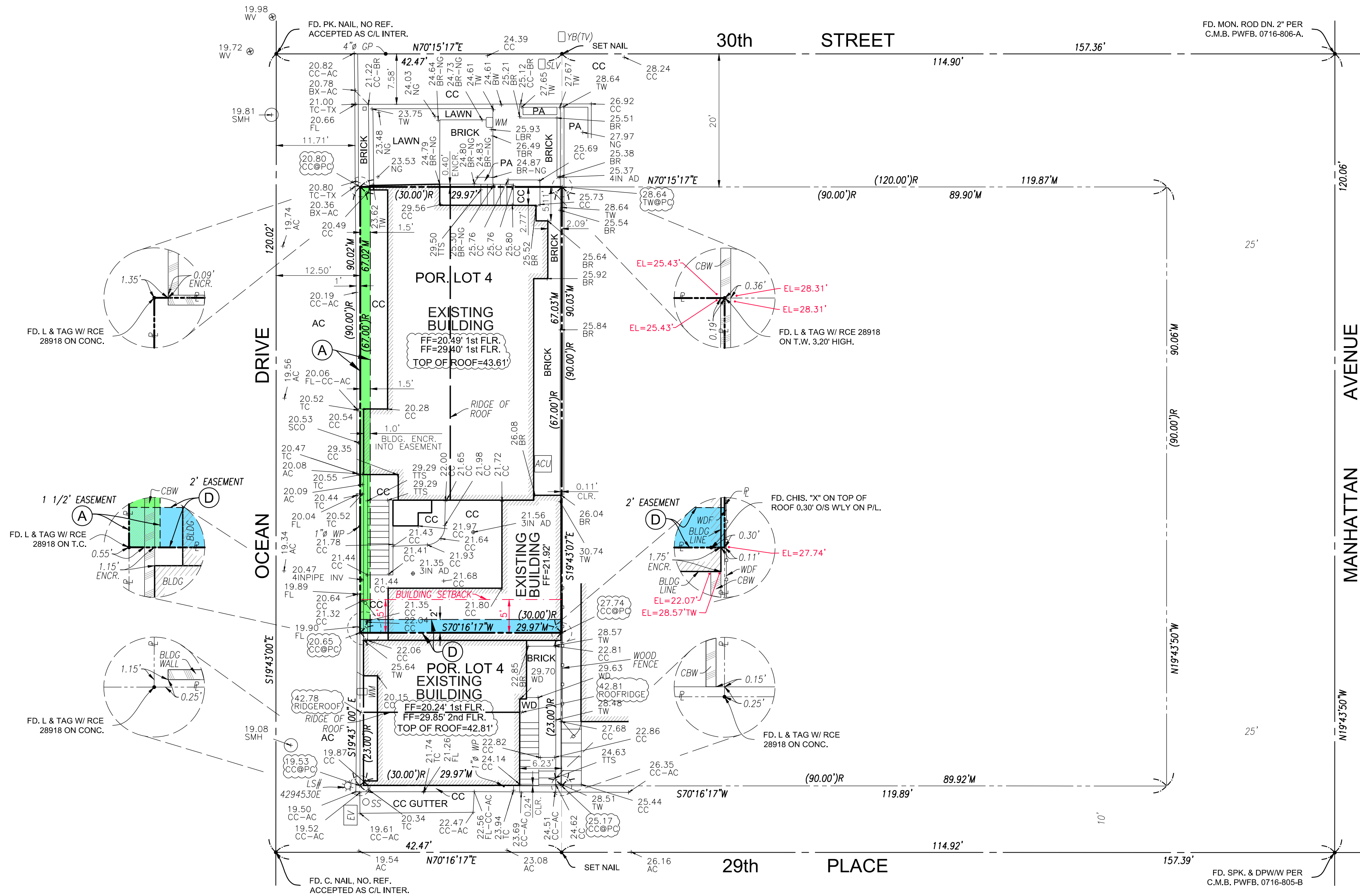
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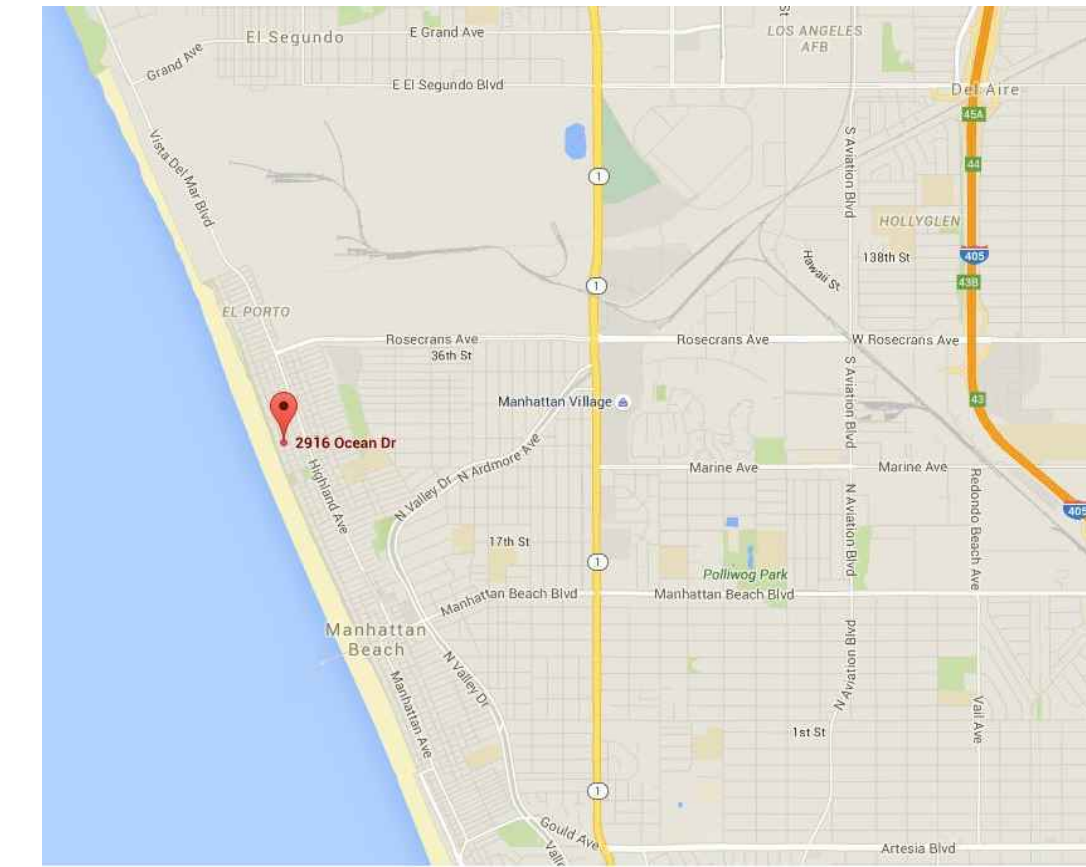
NEW ACCESS EASEMENT AREA - FINAL



EASEMENT NOTE:

- A** 1 1/2" WIDE EASEMENT FOR SEWER PURPOSES
RECORDED IN BOOK 16467, PAGE. 129, O.R.
- D** PERMANENT 2' INGRESS AND EGRESS EASEMENT FOR
SOLE USE OF 2912 OCEAN DRIVE, TO BE FURTHER
DEFINED IN OWNER AND EASEMENT AGREEMENT.

VICINITY MAP :
NOT TO SCALE



LEGEND :

PROPERTY LINE	P	OR	---
CENTER LINE	C	OR	---
CHAIN LINK FENCE	CLF	OR	x - x - x -
WROUGHT IRON FENCE	WIF	OR	o - o - o -
WOODEN FENCE	WDF	OR	o - o - o -
EXISTING CONTOUR ELEVATION			(100.00)
EXISTING GRADE ELEVATION			+ 100.00
ASPHALT CONCRETE			AC
CEMENT CONCRETE			CC
FINISH FLOOR			FF
TOP OF CURB			TC
TOP OF WALL			TW
WATER METER			WM
NATURAL GROUND			NG
CONCRETE BLOCK WALL			CBW
FLOWLINE			FL
DRIVEWAY			DWY
TOP OF DRIVEWAY "X"			TX
PLANTER AREA			PA
BOTTOM OF DRIVEWAY "X"			BX
BRICK			BR
POWER POLE			PP
WATER PIPE			WP
INVERT			INV
LOWER BRICK			LBR
TOP OF BRICK			TBR
STREET LIGHT VALVE			SLV
WATER VALVE			WV
STREET SIGN			SS
TOP OF TOP STEP			TTS
WOOD LANDING			WD
AREA DRAIN			AD
ENCROACHMENT			ENCR
CLEARANCE			CLR
ELECTRICAL VAULT			EV
AIR CONDITIONING UNIT			ACU
PROPERTY CORNER			PC

BENCHMARK:

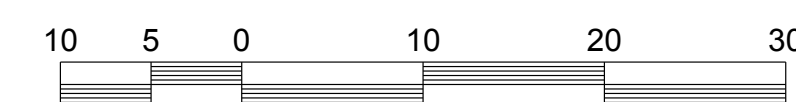
NAIL @ INTERSECTION OF 30th ST. AND OCEAN DR.
ELEVATION = 20.00' (ASSUMED)

LEGAL DESCRIPTION:

LOT 4 POR. BLK. 8 OF PECK'S MANHATTAN BEACH TRACT, MB. 7-34.

BASIS OF BEARING:

ALL BEARINGS SHOWN HEREON ARE BASED ON THE BEARING
N19°43'00"W OF THE SIDELINE OF OCEAN DR. AS SHOWN ON PECK'S
MANHATTAN BEACH TR. MB. 7-34.



SCALE: 1"=10'

DATE: 3/11/2016		REVISIONS		DATE BY	
SCALE: 1"=10'		2. INGRESS & EGRESS EASEMENT	2/29/16	AEI	
DRAWN: C.P.A.		3. SURVAY EASEMENT	3/9/16	AEI	
SURVEY CHW: P.A.A.		4. SURVAY EASEMENT	5/10/16	AEI	
CHECKED: P.A.A.		5. GRADE CALCULATIONS			

BRIAN HARRIS
7818 VERAGNA DRIVE
PLAYA DEL REY, CA 90293

OWNER/CIENT:

BOUNDARY & TOPOGRAPHIC SURVEY
2916 OCEAN DR.
MANHATTAN BEACH, CA 90266

PROJECT:

STAMP:

P.A. ARCA
ENGINEERING, INC.

5/10/2016

DATE: 3/11/2016

SCALE: 1"=10'

DRAWN: C.P.A.

SURVEY CHW: P.A.A.

CHECKED: P.A.A.

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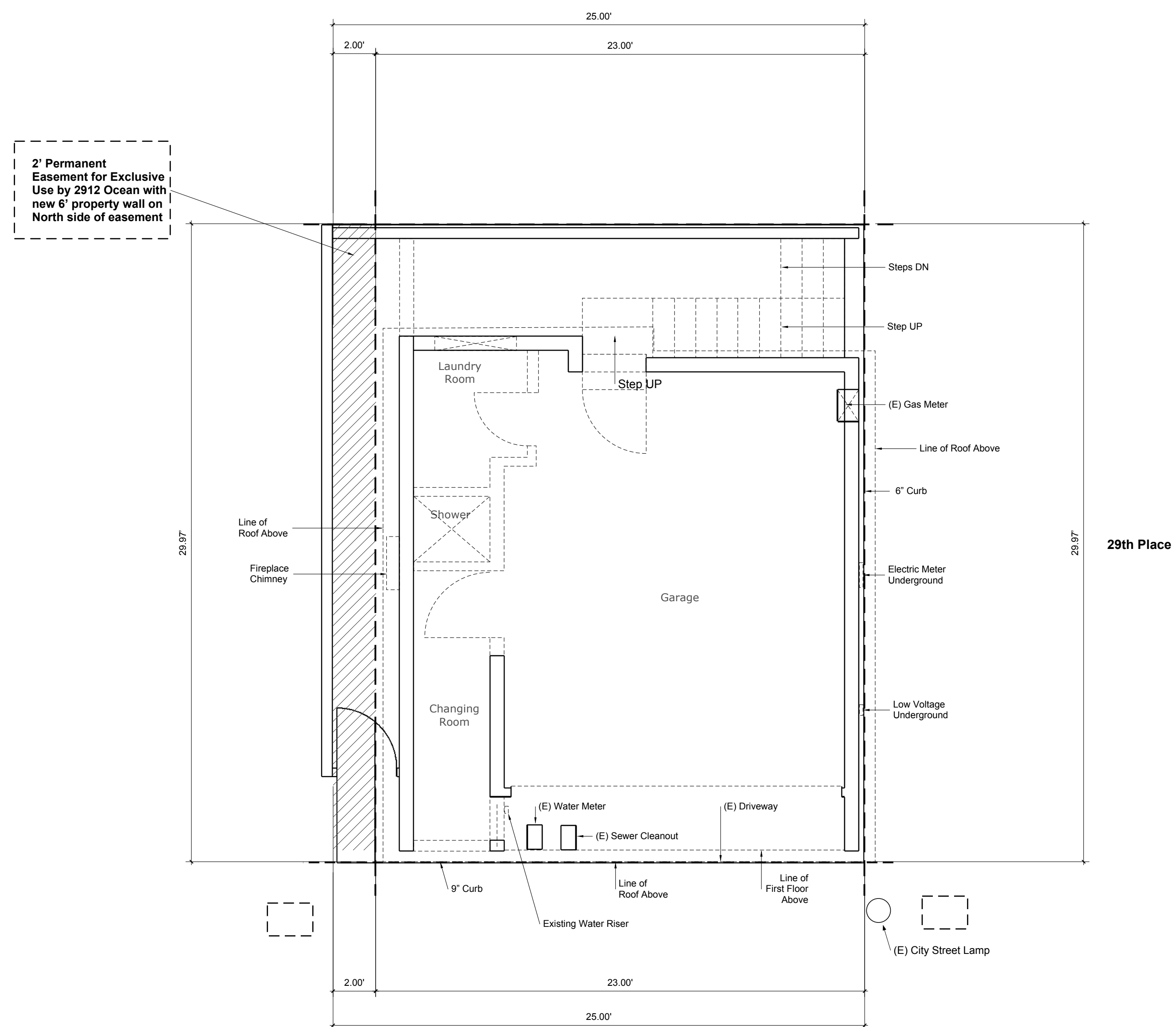
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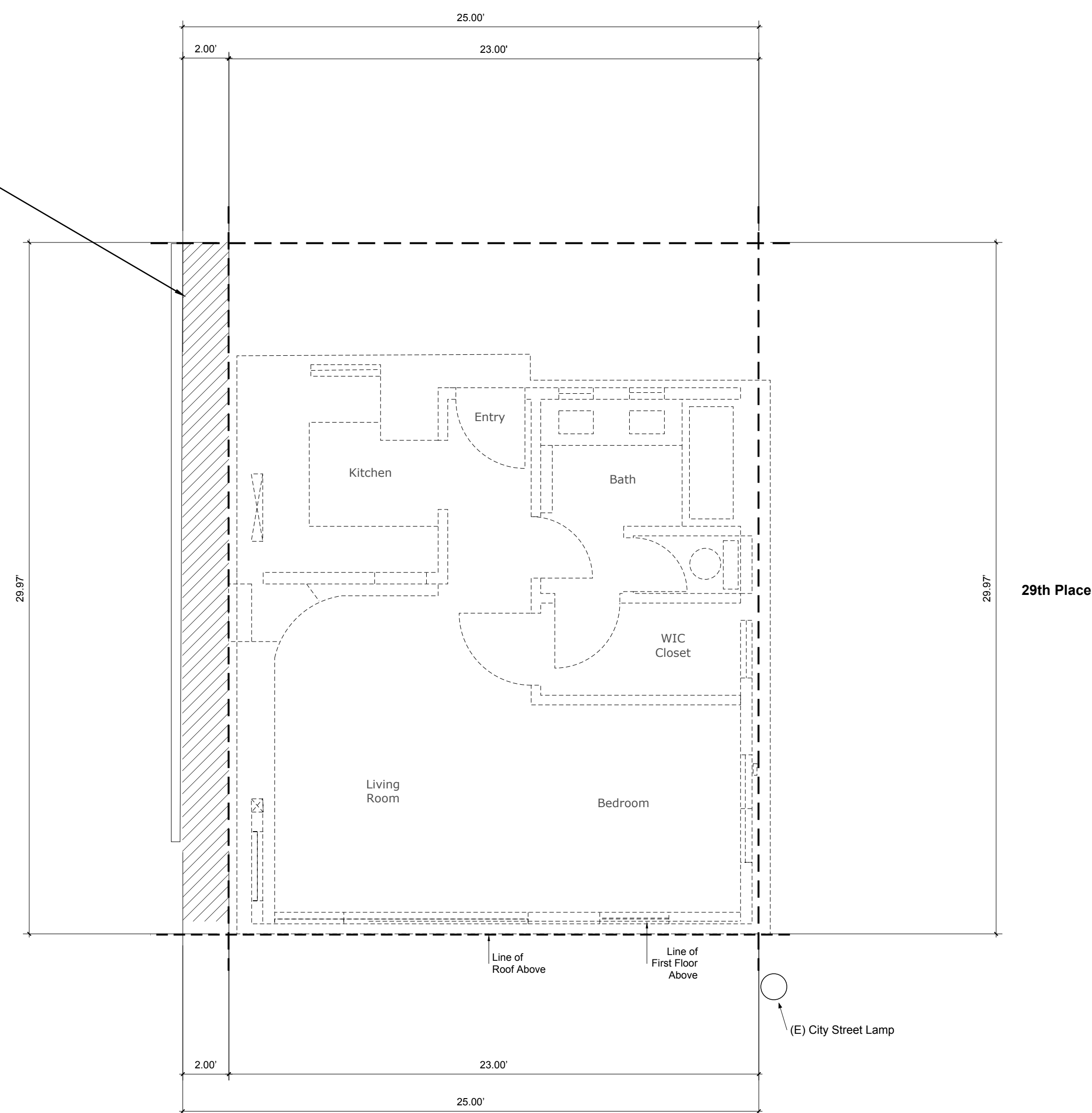
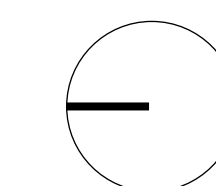
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1 First Floor / Site Plan - Demo
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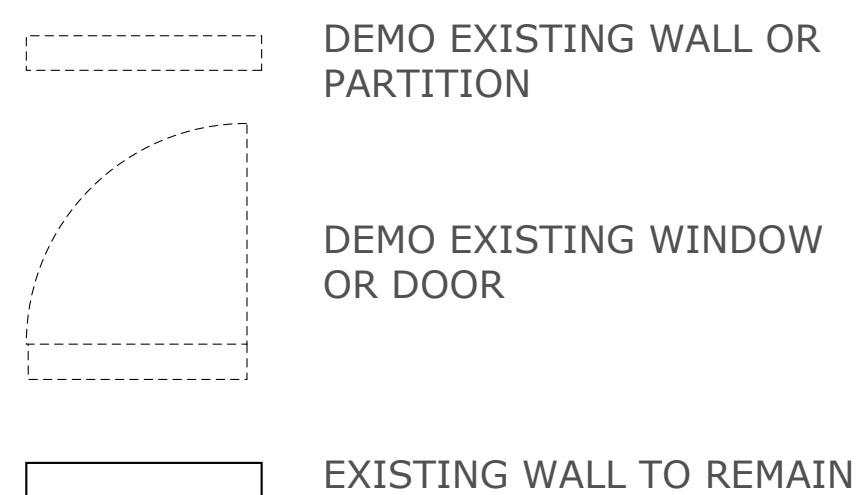


2 Second Floor / Roof - Demo
 A0.3 Scale: 1/4" : 1'

NOTES:

1. SHUT OFF GAS TO SITE.
2. CALL DIGG ALERT TO MARK UNDERGROUND UTILITIES.
3. WATER TO REMAIN ON.
4. SET UP ELECTRICAL PIGGY BACK FOR TEMP POWER.
5. PROVIDE TEMPORARY TOILET AND WASH STATION.
6. SET UP 6' SECURITY FENCING WITH WINDSCREEN AT PERIMETER.
7. CHECK CITY RECORDS TO DETERMINE IF A CESSPOOL WAS LOCATED ON SITE.
8. NO DISCHARGE OF CONSTRUCTION WASTEWATER, BUILDING MATERIALS, DEBRIS, OR SEDIMENT FROM SITE IS PERMITTED. SANDBAGS WILL BE PLACED AT WEST AND ALLEY SIDE PERIMETER.

LEGEND:



KEYNOTES:

1. REMOVE ALL DOORS AND WINDOWS
2. REMOVE CONCRETE STEPS
3. REMOVE WOOD STEPS
4. REMOVE MASONRY CHIMNEY
5. REMOVE CONCRETE APPROACH
6. SET TEMPORARY TOILET
7. MOUNT OSHA POSTER, FIRST AID KIT AND FIRE EXTINGUISHER
8. CAP OF EXISTING SHOWER PLUMBING
9. DEMO AND RELOCATE ELECTRICAL METER, WATER RISER AND LOW VOLTAGE PANEL
10. DEMO INTERIOR WALLS
11. DEMO ALL CABINETS
12. DEMO BATH TILE AND TUB
13. DEMO SELECT EXTERIOR WALLS
14. REMOVE ALL APPLIANCES
15. DEMO EXISTING ROOF, ROOF RAFTERS AND JOISTS
16. REMOVE EXISTING ROOF EAVE
17. REMOVE CURB (PENDING PUBLIC WORKS)
18. REMOVE FIRST FLOOR DECKINGS AND FRAMING AT KITCHEN/BATH AREA
19. REMOVE ALL ELECTRICAL, MECHANICAL AND PLUMBING

CURRENTLY NONE

1
A.06

Existing Third Floor
Scale: 1/4": 1'

Balcony Projections:

Projection cannot exceed three feet and the area does not exceed three feet multiplied by one-half of the buildable width of the lot, and a minimum of two foot clearance to the property line is maintained.

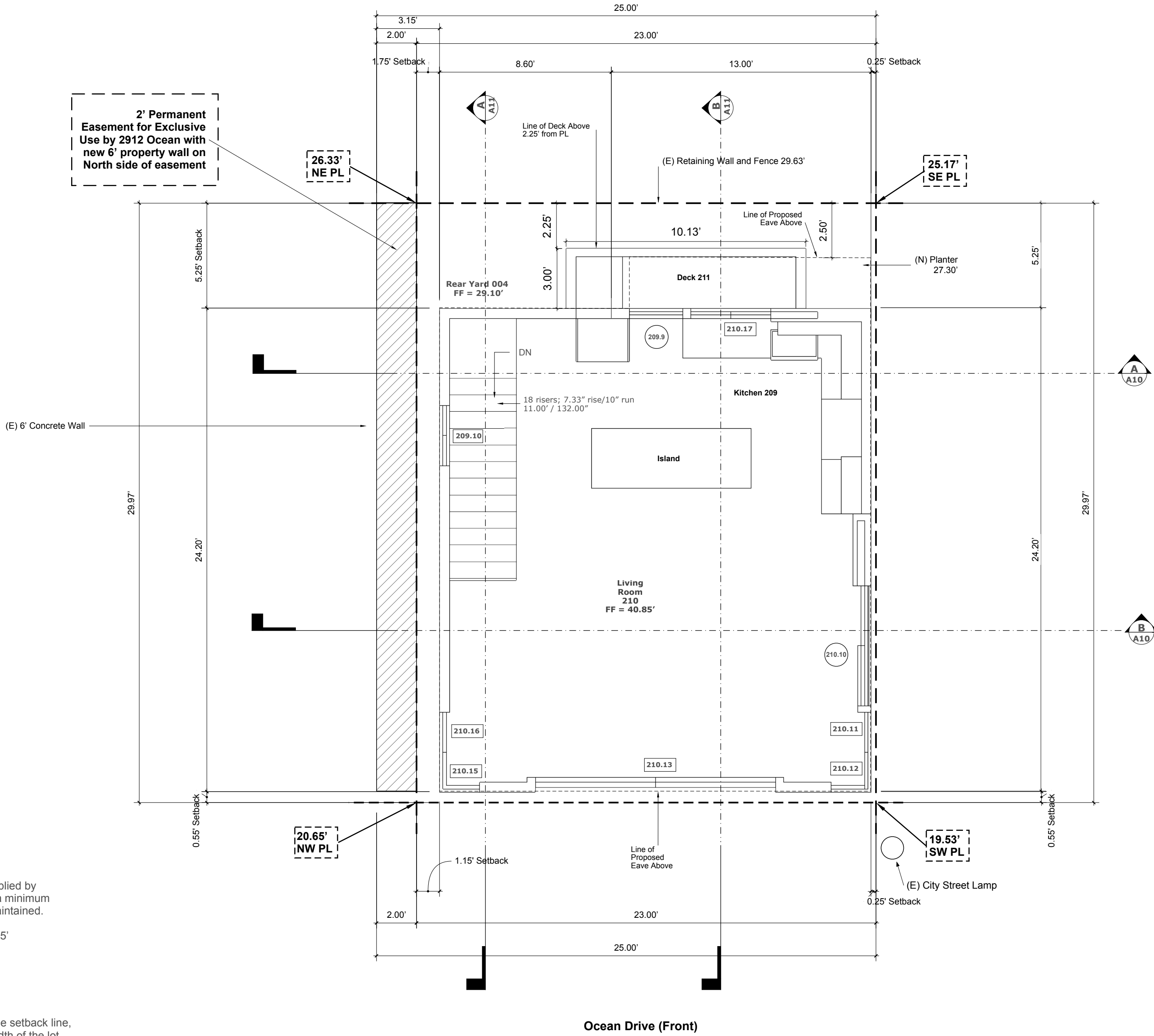
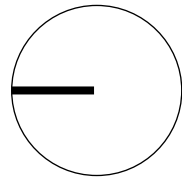
Formula - 23.00' - 1.00' - 1.75' / 2 x 3 = 30.375'

Buildable Lot Width = 23.00'
Alley Setback = 1.00'
Sideyard Setback = 1.75'

Aggregate length of balcony into a required yard on a single building level, measured at the setback line, shall not exceed two-thirds of the buildable width of the lot.

Formula: 23.00' - 1.00' - 1.75' / 2/3 = 13.50'

north



1
A.06

Proposed Third Floor
Scale: 1/4": 1'

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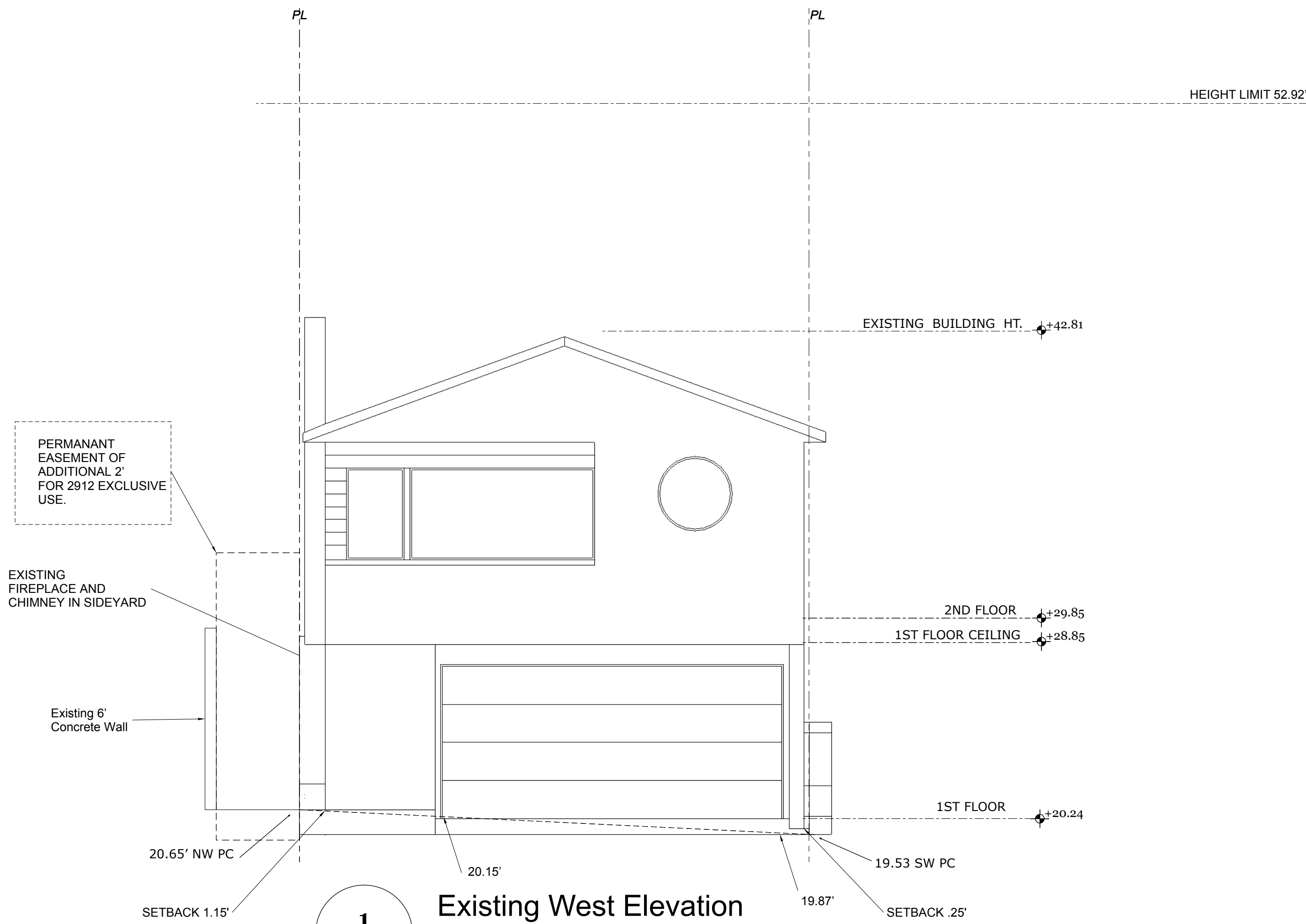
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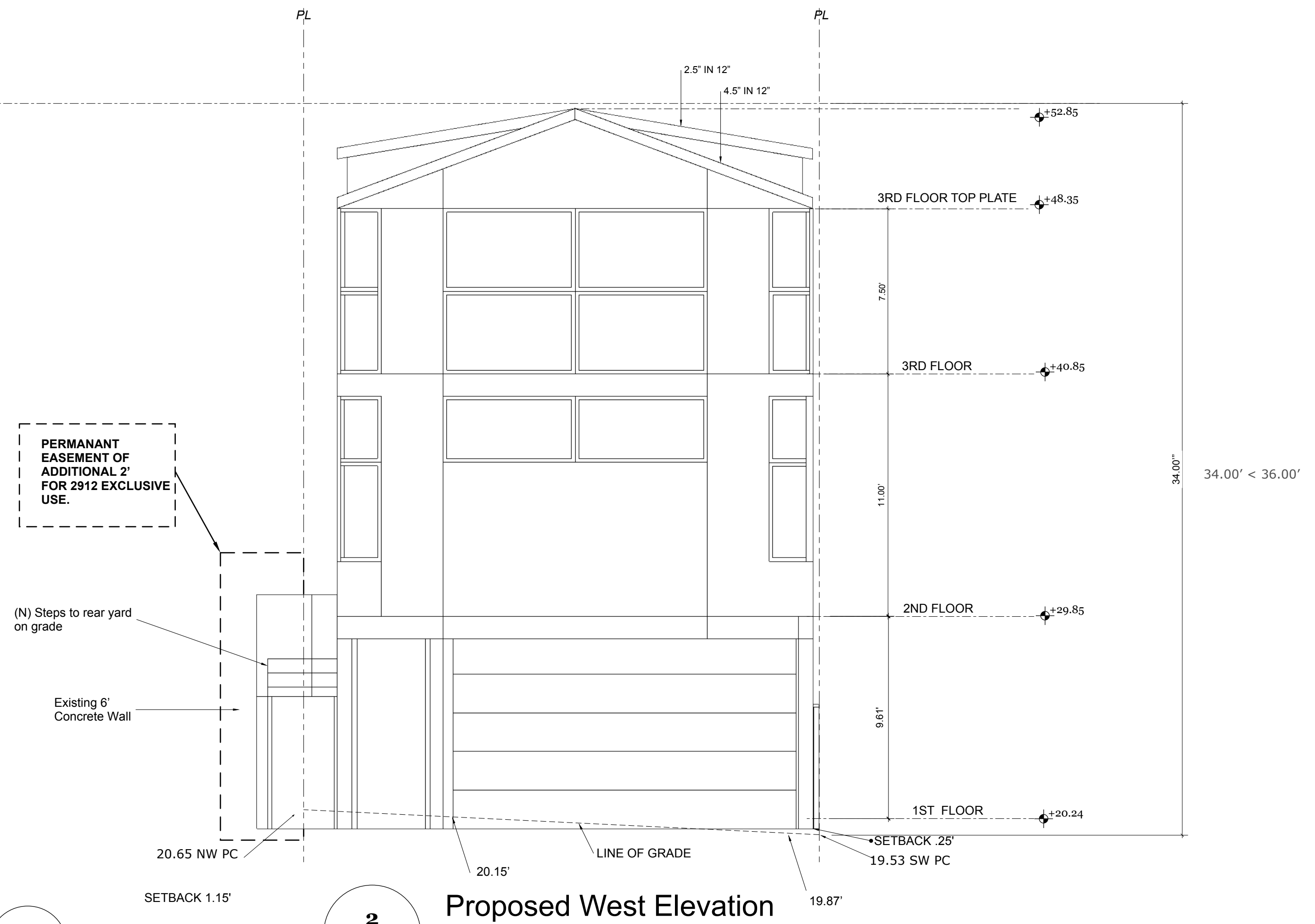
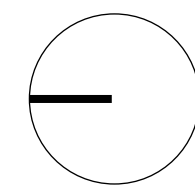
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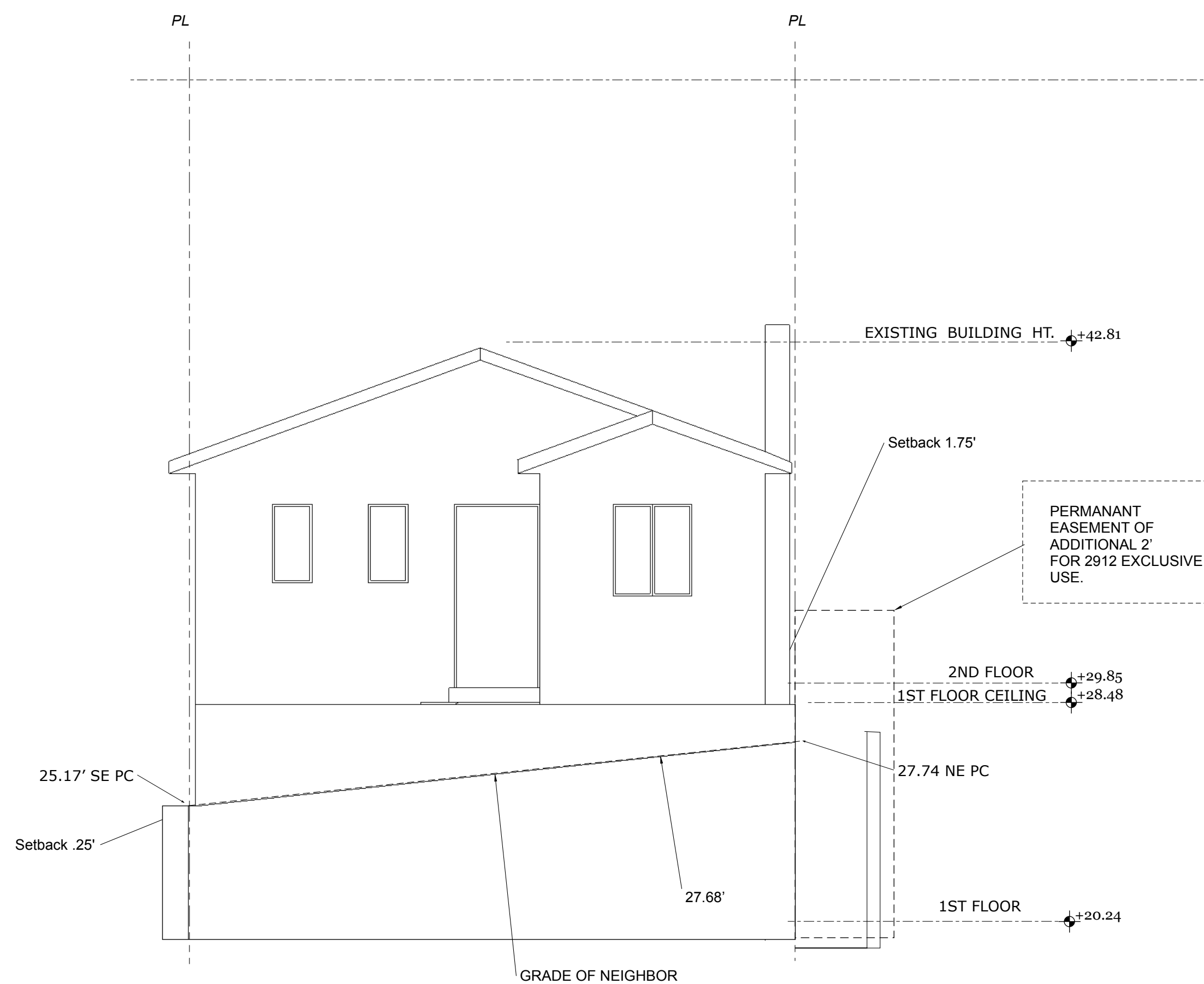
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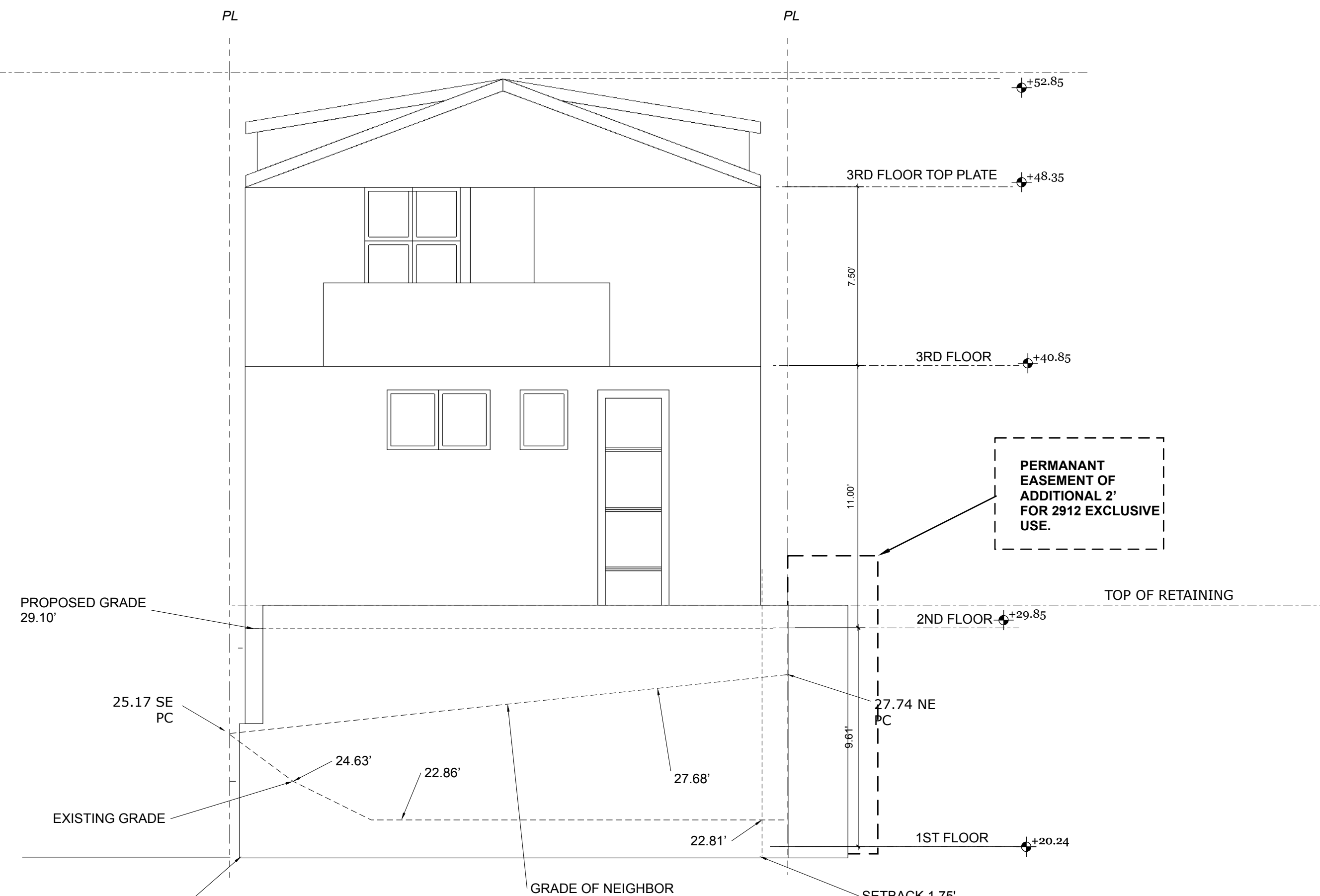
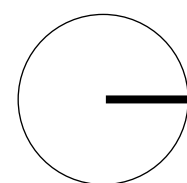
north



NOTE: PARAPETS, SATELLITE, ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT



north



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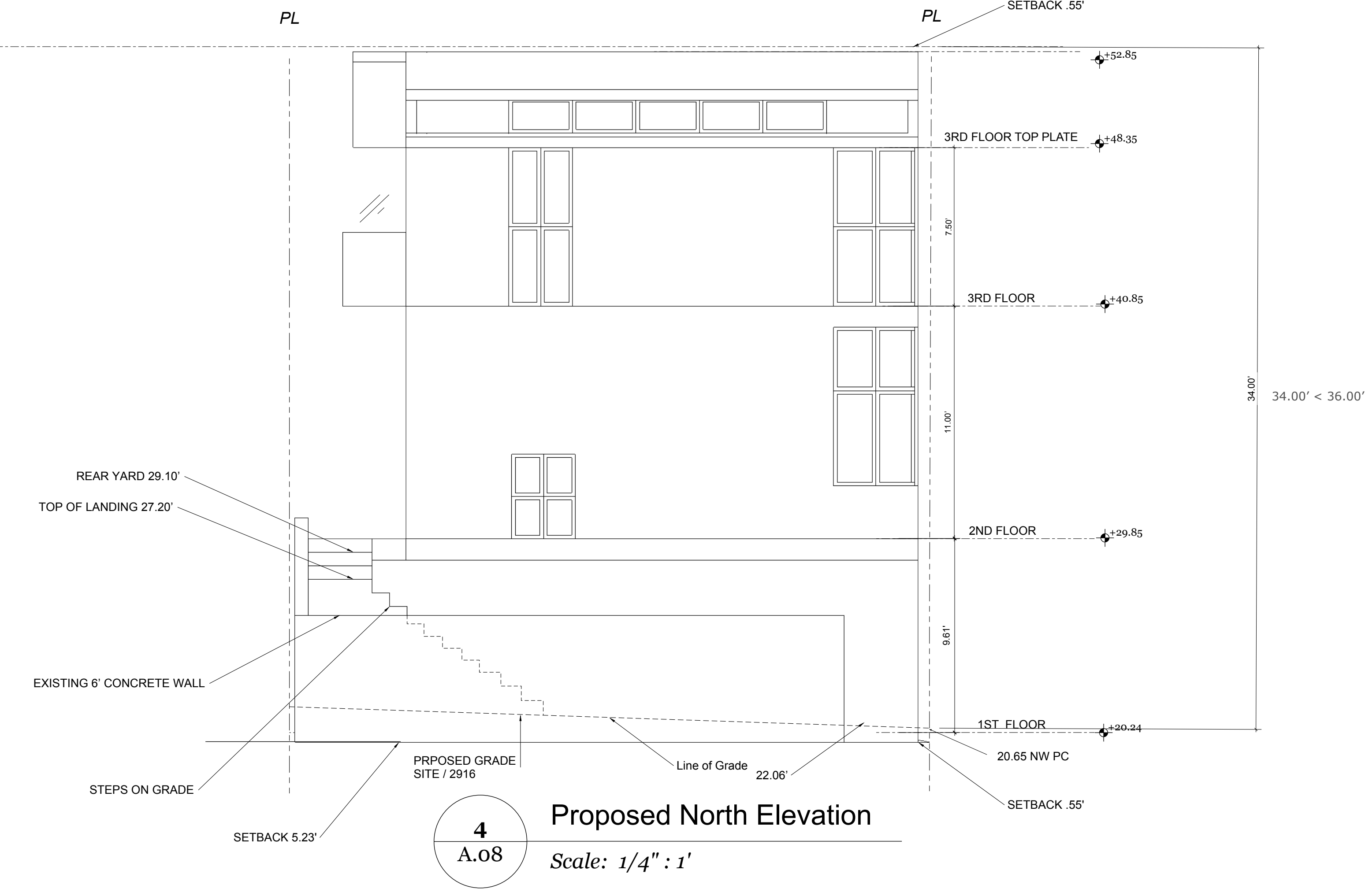
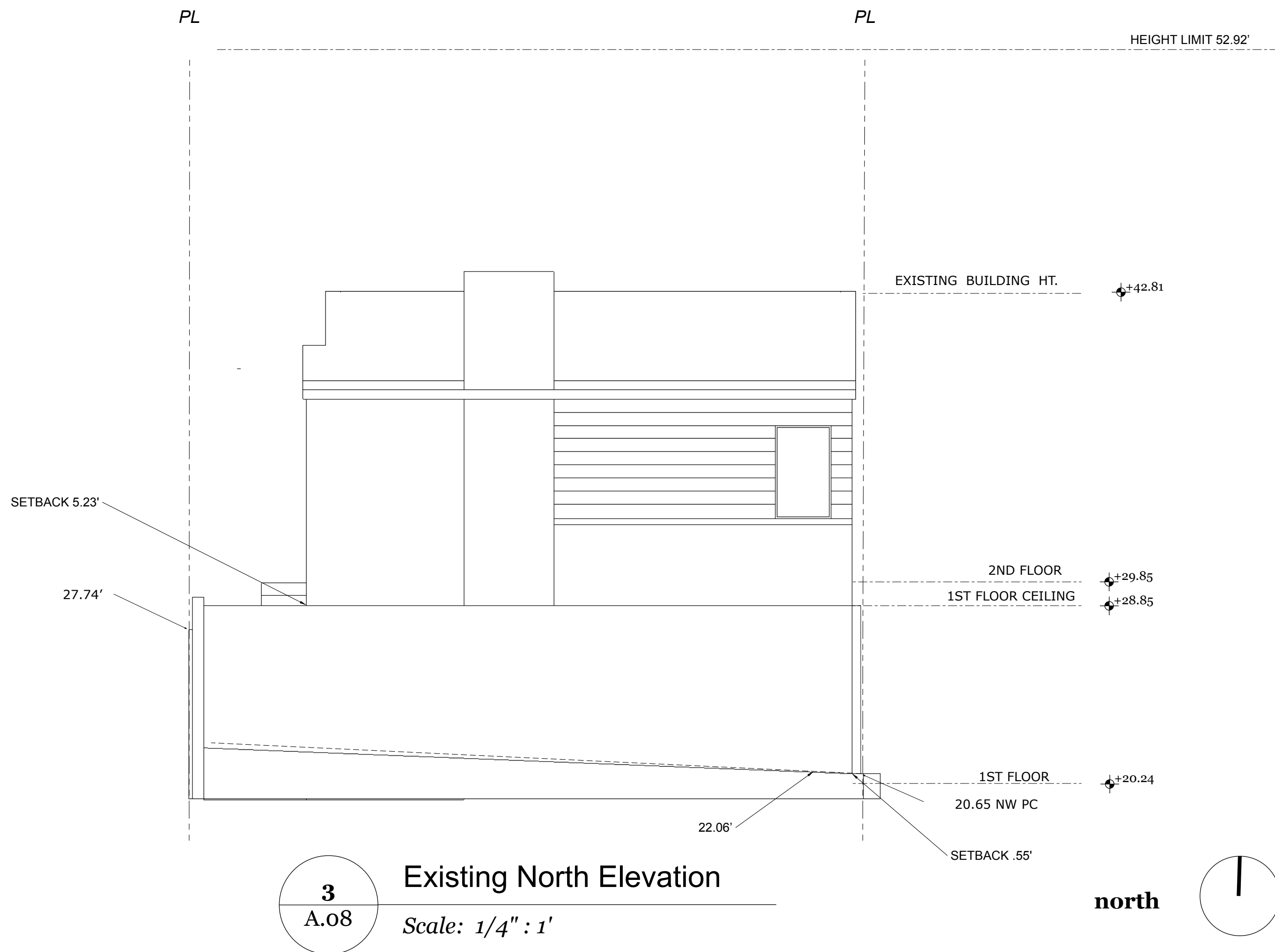
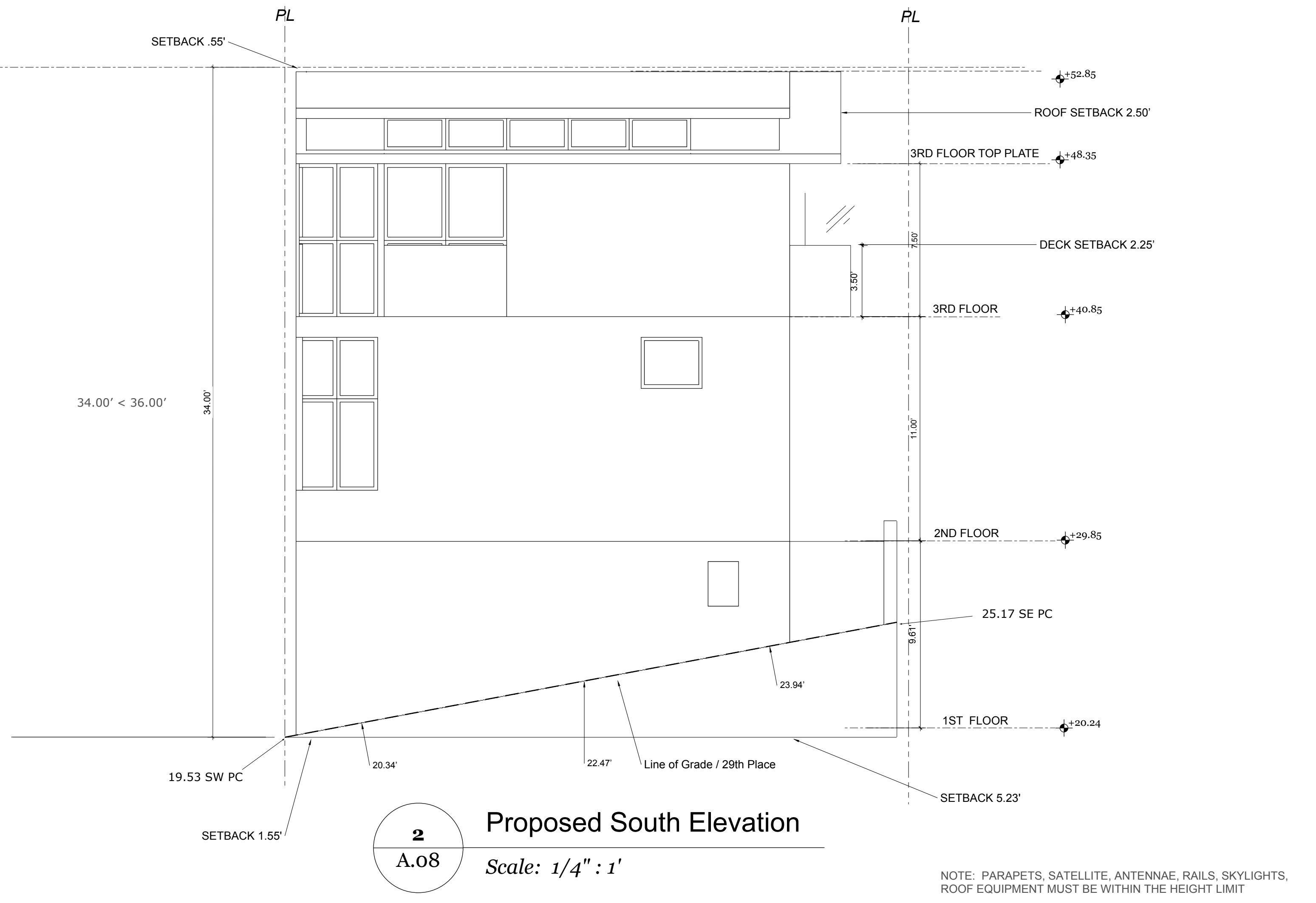
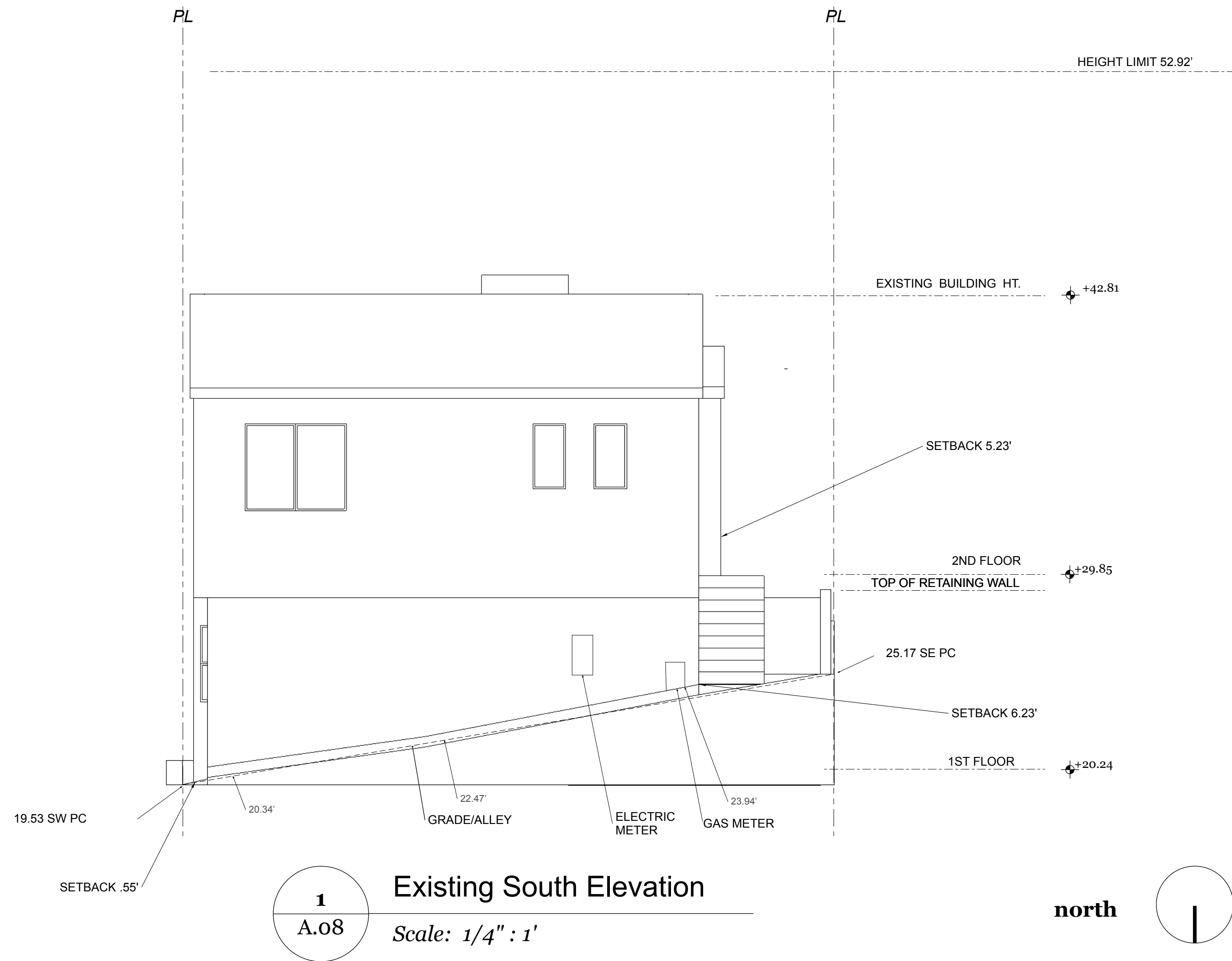
PROJECT NO.
2912-17

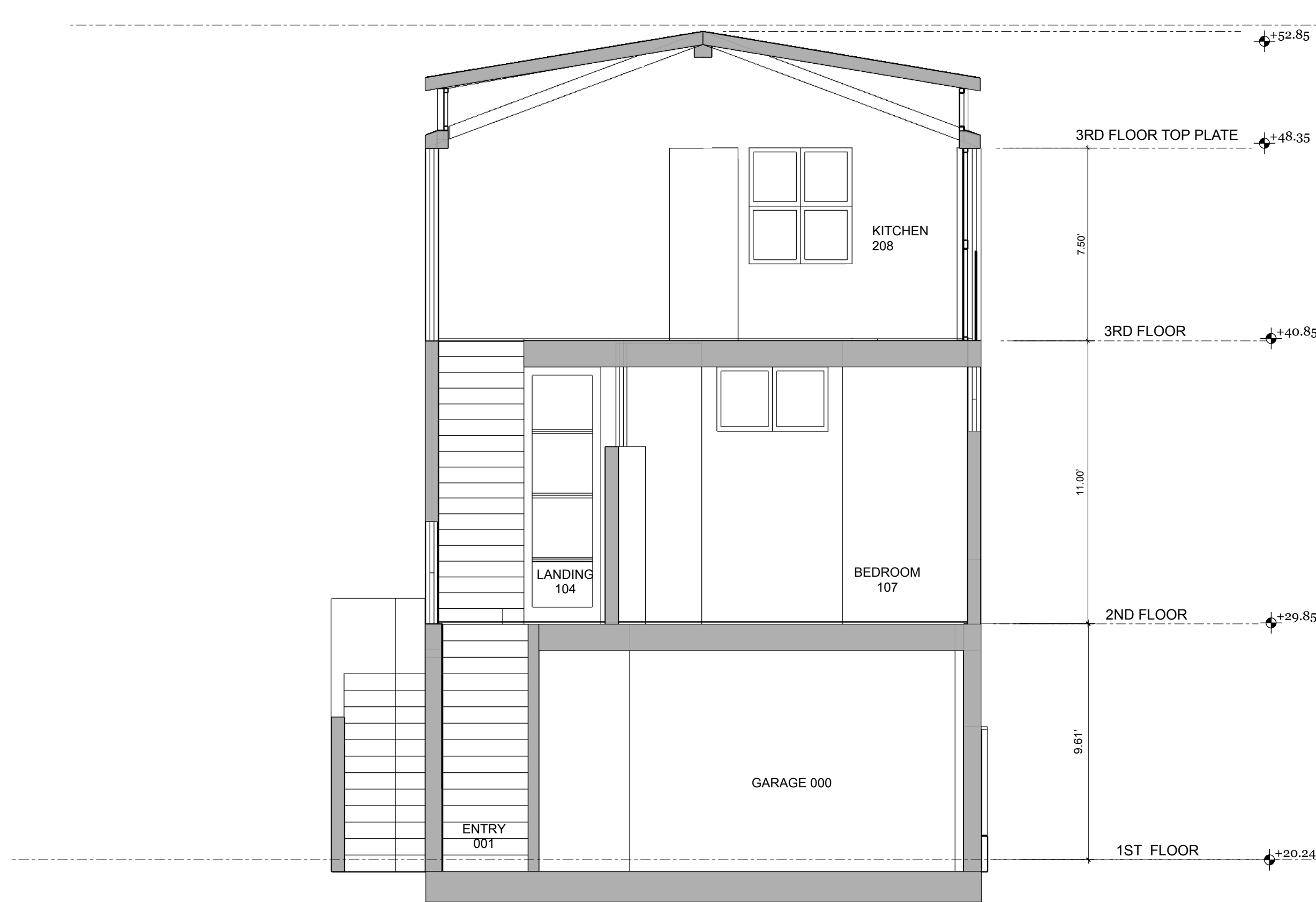
PROJECT
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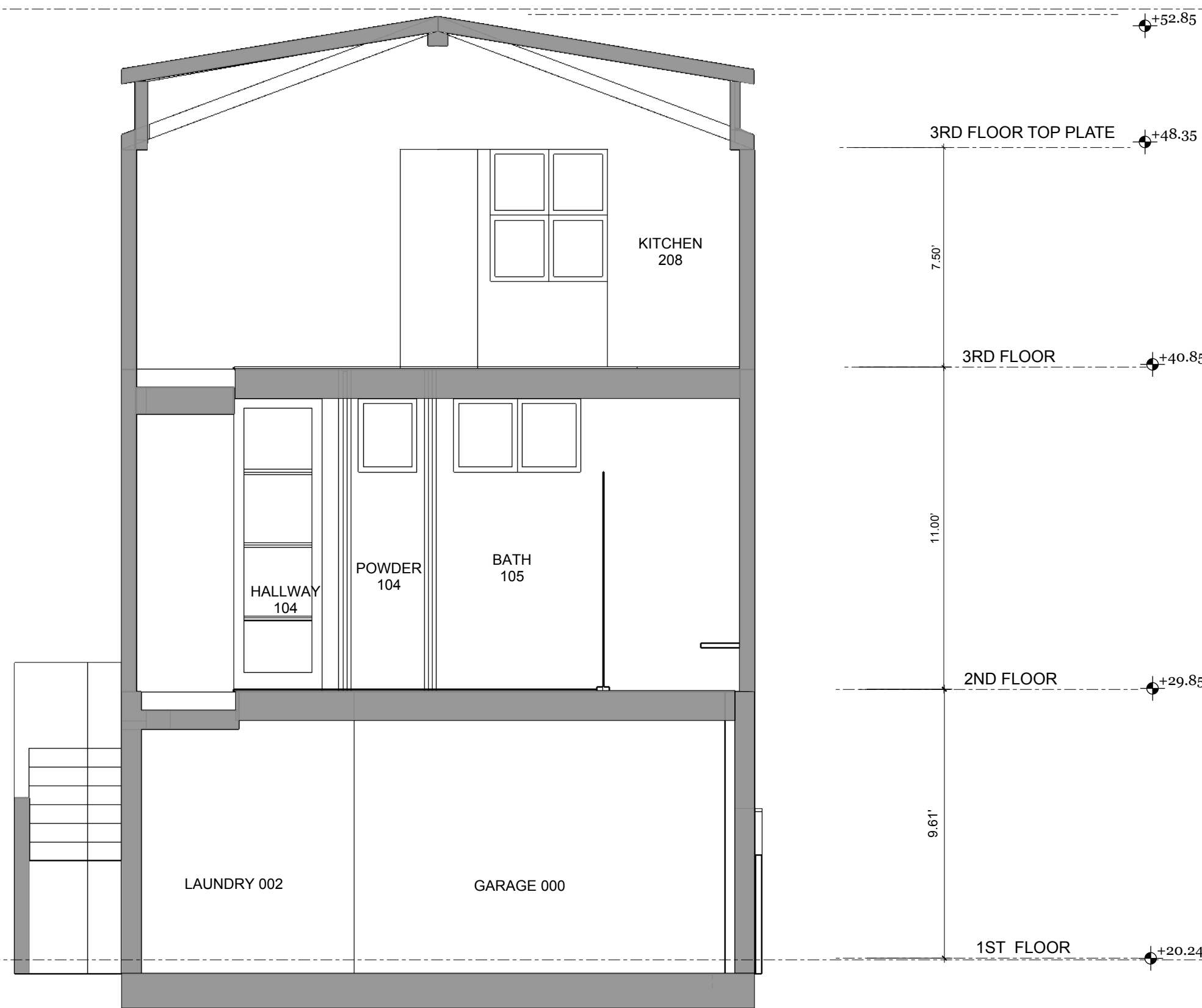




B
A.11

SECTION - EAST

Scale: 1/4" : 1'



A
A.11

SECTION - EAST

Scale: 1/4" : 1'

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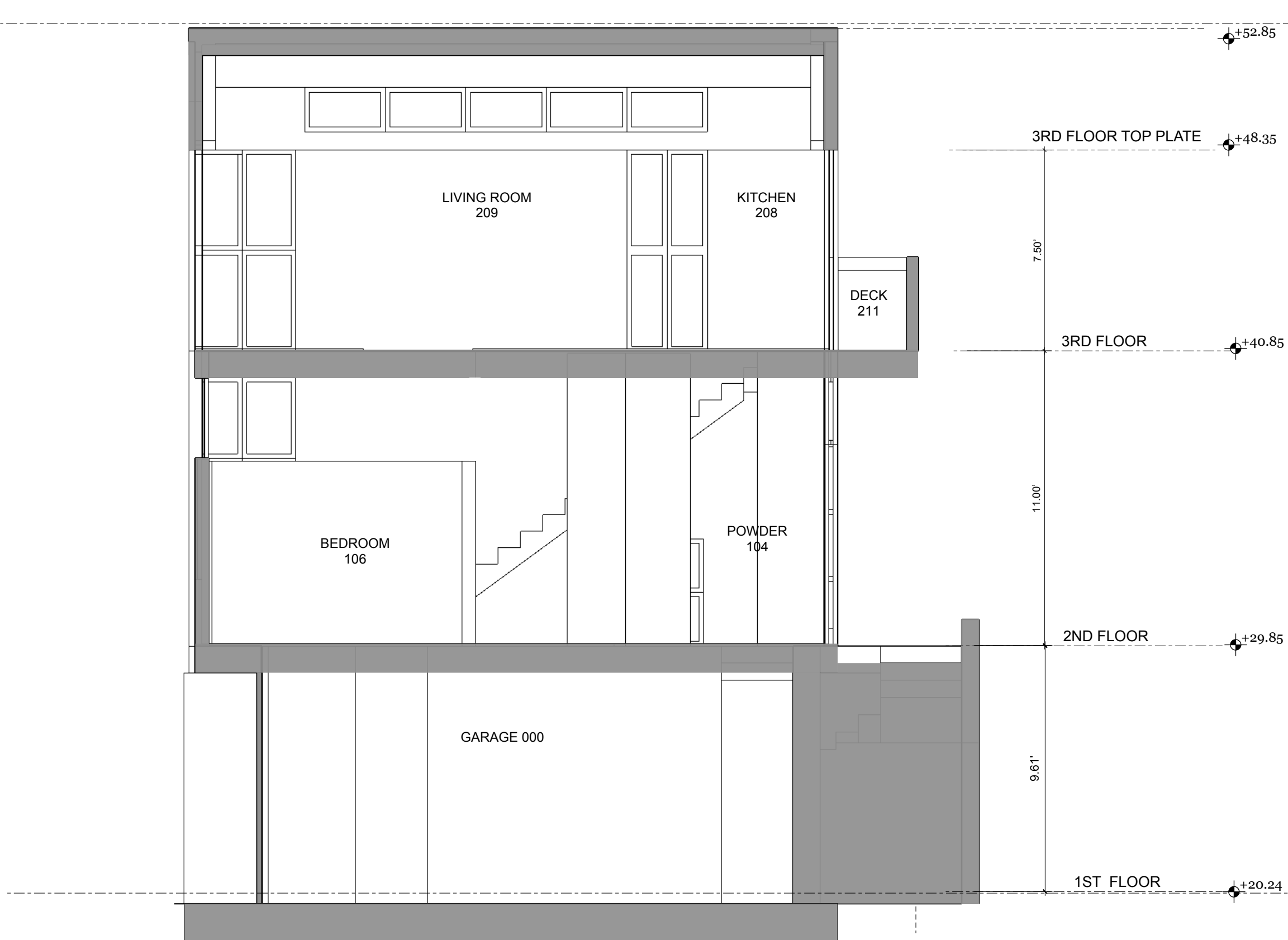
RE-ISSUE

PROJECT NO.
2912-17

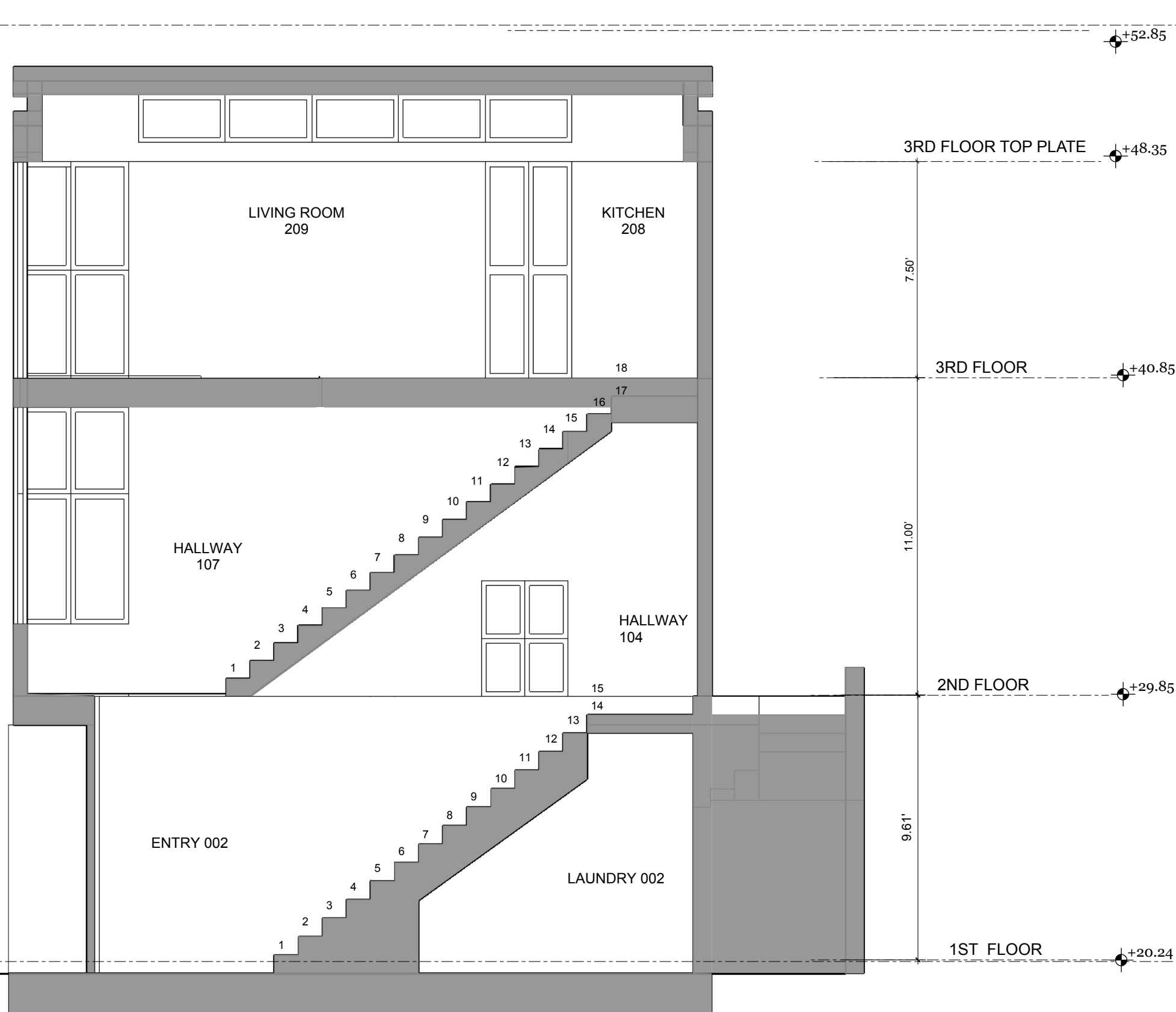
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B
A.12
SECTION - NORTH
Scale: 1/4" : 1'



A
A.12
SECTION - EAST
Scale: 1/4" : 1'



RENDERING 1



RENDERING 2

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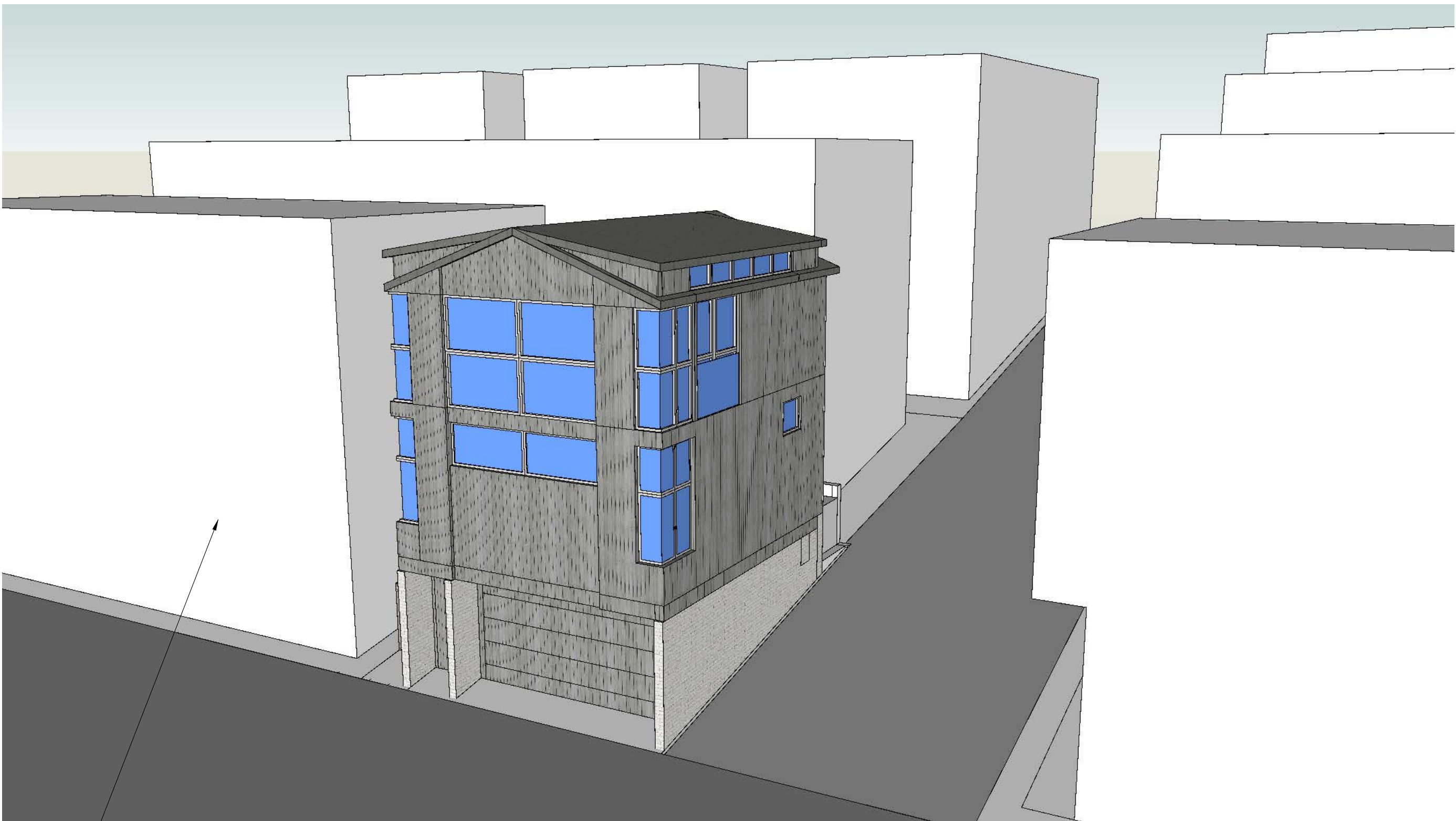
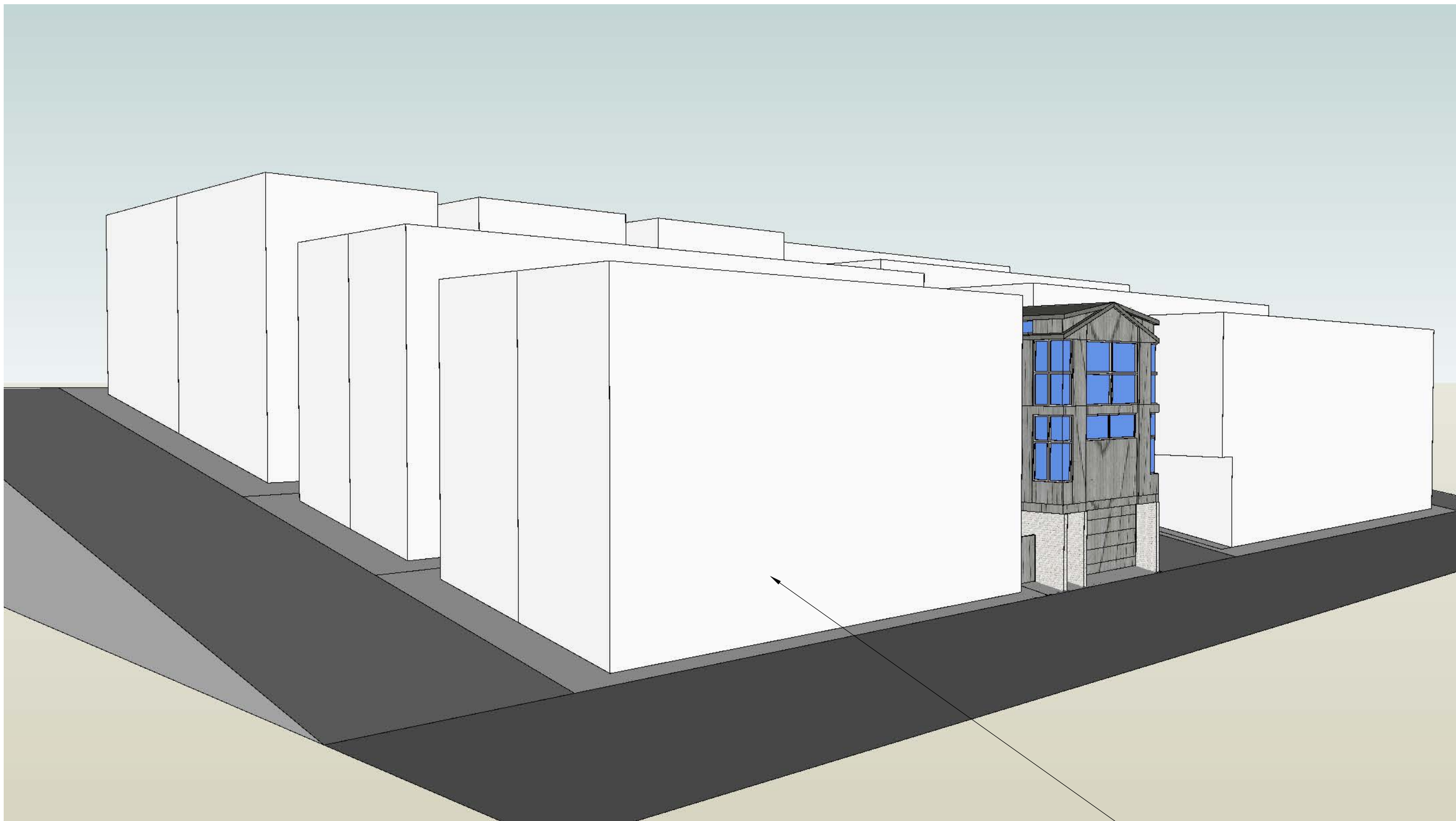
RE-ISSUE

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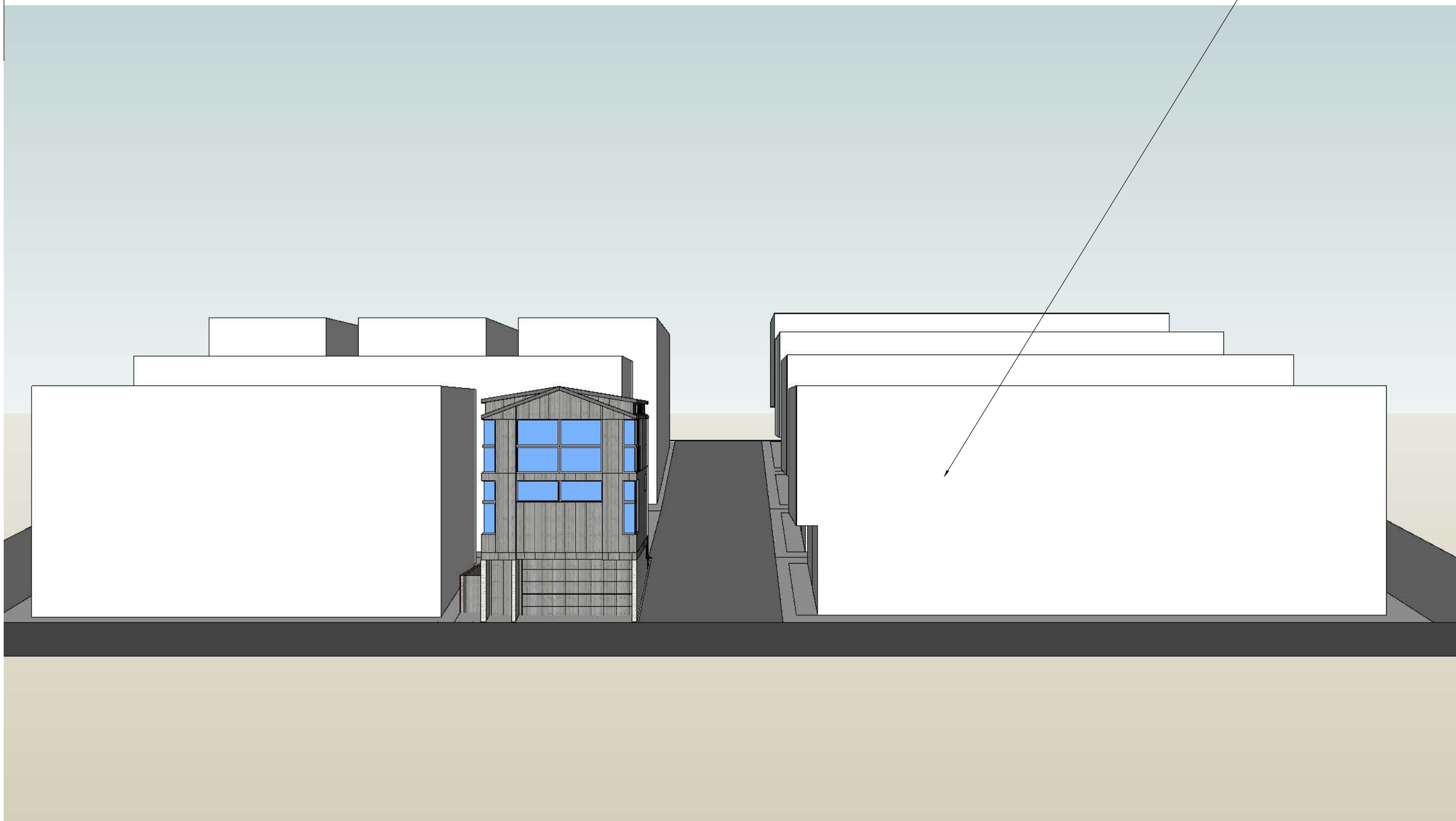
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Block Drawings of Adjacent Properties
Per Zoning Standards for Setback and Heights



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Distance the roof eave and south wall of 2916 Ocean are from Property Line.



6" Concrete Wall at North side of 2' Easement.



2' Exclusive Use Permanent Easement for 2912 Ocean.

Property Line - 20.65'

Setback of 2912 Ocean from Property Line.

EASEMENT PHOTOS