

**CITY OF MANHATTAN BEACH
DEPARTMENT OF COMMUNITY DEVELOPMENT
MEMORANDUM**

TO: Planning Commission

FROM: Marisa Lundstedt, Director of Community Development *UBJ FOR*

BY: Rafael Garcia, Assistant Planner *Rfg*

DATE: July 27, 2016

SUBJECT: Consideration of a Use Permit for Proposed Construction of a Mixed Use Building at 1762 Manhattan Beach Boulevard (Manhattan Beach Plastic Surgery Properties, LLC)

RECOMMENDATION

Staff recommends that the Planning Commission **CONDUCT** the Public Hearing, **DISCUSS** the project, and **ADOPT** the attached resolution, approving the project with conditions.

APPLICANT

Manhattan Beach Plastic Surgery Properties, LLC
13700 Marina Pointe Drive, Suite 1715
Marina Del Rey, CA 90292

BACKGROUND

The subject site presently consists of a commercially zoned 5,070 square-foot, rectangular-shaped, corner lot with a single story commercial building along the street frontage on Manhattan Beach Boulevard, a detached, single-story, single family home with garage at the rear on Harkness Street and an in-ground pool located in between the existing buildings. The project proposes to demolish all of the existing buildings and construct a mixed use 4,406 square-foot, three-level, building with an enclosed parking structure at the lower floor level. The 1,835 square foot medical office space is located on the second floor level and the 2,434 square foot residence is located on the second and third floors. The project also includes an additional 137 square feet of stair and circulation area located throughout the first and second floor levels. Section 10.16.020 of the City's Zoning Code requires Use Permit approval for mixed use projects in a Local Commercial (CL) zone.

PROJECT OVERVIEW

LOCATION

Location	1762 Manhattan Beach Boulevard- Southwest corner of Manhattan Beach Boulevard and Harkness Street
Legal Description	Lot 1 in Block 2 of Redondo Villa Tract No. 3 of Map Recorded in Book 10 Page 185
Area District	I

LAND USE

General Plan	Local Commercial
Zoning	CL, Local Commercial

	<u>Existing</u>	<u>Proposed</u>
Land Use	1,075 sq. ft. commercial building and 629 sq. ft. single family dwelling and 2-car garage	1,835 sq. ft. medical office, 2,434 sq. ft. single family dwelling and 137 square feet of circulation/stair area
Neighboring Zoning/Land Uses	North (Across MBB) South East West	RS/Single-Family Residential RS/Single-Family Residential CG/Vacant Site CL/Mixed Use

PROJECT DETAILS

	<u>Proposed</u>	<u>Requirement</u>
Parcel Size:	5,070 sq. ft. (50' x 102')	4,000 sq. ft. min.
Building Floor Area:	4,406 sq. ft.	5,070 sq. ft. max.
Height	30 ft.	30 ft. max.
Setbacks		
Commercial		
Front	9" to 7'-7"	None
Rear	3' to 5'	None
Daylight Plane	45 Degree	45 Degree min.
East Side	2'-5" to 5'	None
West Side	0' to 26'	None
Residential		
Front	24' to 52'-9"	20 ft. min.
Rear	12 ft.	12 ft. min.
East Side	5 ft. to 12'-6"	5 ft. min.
West Side	5 ft. to 19'	5 ft. min.
Landscaping	568 sq. ft.	406 sq. ft. min.
Parking:	11 Spaces	11 Spaces
Vehicle Access	1-Harkness St. driveway	N/A

DISCUSSION

The submitted plans show an existing 1,075 square-foot single-story commercial building and 629 square foot single family residence with an attached two-car garage to be demolished, and the site to be redeveloped with a 4,406 square-foot, three-story, mixed use building with a medical office, as well as single family residence. Compared to the existing commercial building, the new building will include more floor area, increased height, as well as a parking structure at the ground floor, and outdoor deck area on the west side of the building on the second floor. The proposal also makes greater use of the middle portion of the site, between the existing commercial building and the single family residence, which is currently largely undeveloped and where the in-ground pool is located. The single-driveway access will remain along Harkness Street.

The proposed third story will be setback away from the front, side and rear property lines. All parking related to this project will also be contained within the lower floor level of the building. A total of eleven parking spaces are proposed to be located at street level. The parking lot will be gated, but will remain open during the hours of operation. A proximity sensor radio frequency identification (RFID) gate control and key pad code will be installed. The RFID control will be provided to all employees and residents and will activate the gate without requiring the approaching vehicle to stop at the driveway after hours, so there will be no vehicles backing up on Harkness Street. Automatic exiting will be provided when vehicles leave the parking area.

Visitors will be able to access the building from the parking area, as well as through the pedestrian entrance located along the lower floor level along the building frontage. The building frontage includes an interior-accessed stairwell, landscaping, a glass facade and an upper level architectural projection that is largely landscaped. A trash enclosure will be provided at the first level towards the rear at the south east portion of the building. The enclosure and waste containers will be accessible off of the sidewalk at the rear and complies with all of the standards and specifications as required by the Public Works Department, as well as Waste Management and as detailed in the conditions of approval

The City will require a 25-foot radius corner cut-off dedication at the southwest corner of Manhattan Beach Boulevard and Harkness Street to construct a public sidewalk and pedestrian ramp. The proposed right of way dedication is shown on the plans. A sidewalk easement will also be provided to the City at the proposed driveway on Harkness Street to provide a leveled accessible sidewalk behind the sloped driveway approach.

The project conforms to the City's requirements for use, floor area, setbacks, parking, and landscaping. The building observes the 45-degree daylight plane setback (starting 15' above grade) from the rear-abutting residentially zoned properties, and provides landscaping along the rear and east property lines, and at the second floor deck planters that face the west. The medical use is proposed as a small, single-tenant medical office with minimal staff. All scheduling will be controlled by appointment with little unscheduled patient visits. The project was forwarded to Building and Safety, Public Works, the Traffic Engineer and the Fire Department for review. The comments received

were addressed and the suggested conditions of approval have been included as part of the attached resolution. The project issues that warrant discussion include the following: project design, parking, and open space.

Project Design:

The project design is in conformance with all applicable regulations of the CL zone. The overall appearance of the project is modern style featuring substantial second floor deck/planter area, as well as ground floor landscaping.

The frontage of the building on Manhattan Beach Boulevard includes a pedestrian entry along with landscaping. The pedestrian entryway will provide access to the medical office on the second floor through the staircase and elevator that will be located off of the entry door on the lower floor level. The access to the residential unit will be provided by a staircase that is provided on the east side yard towards the rear of the site which will also serve as ingress and egress to the commercial building.

The ground level enclosed parking structure will be prominent on both streets which has resulted in a very minimal active storefront on Manhattan Beach Boulevard, with only the pedestrian entry. However, the site is limited in size which limits the design opportunities to provide parking in an alternate location away from the frontage of the site. The translucent glazing system, variety of architectural materials, building articulation and consistent treatment of the entire building will help to reduce the visual impact generated by the prominence of the parking lot at the ground floor level. Staff is supportive of the design as proposed.

Parking:

The project includes a total of 11 parking spaces as part of the project at the lower floor level. The parking is made up of nine commercial parking spaces and an enclosed two-car garage for the single family residence. The parking includes four compact parking stalls and one van-accessible handicap stall. Municipal Code Section 10.64.100 A. allows compact parking to account for up to forty percent (40%) of the required parking for single tenant office uses which would allow for 3.6 compact parking stalls. The project includes a total of four stalls, and fractional figures over half a stall have been rounded up to the nearest whole stall. This is consistent with past practice. A loading zone or space is not required for office building up to 15,000 square feet (MBMC Section 10.64.030).

The City's Traffic Engineer has reviewed the project, found the traffic and parking design (including gate) to be appropriate, and determined that a formal traffic study is not required. The conditions of approval provided by the Traffic Engineer have been included as part of the attached resolution.

Open Space:

The project includes approximately 255 square feet of open space as part of the single family residence located at the second and third floor levels. The project includes decks on the second and third floors along the east side of the building, as well as a balcony located on the west side of the building on the third floor. The project includes open

space as part of the residence even though there are no code provisions requiring that open space be provided as part of the project. The Manhattan Beach Municipal Code does not have any standards requiring single family residences to provide open space within Districts I and II, open space is only required in Districts III and IV. Staff worked with the architect in order to provide open space as part of the residence, in that, the site does not have much of the open yard space that is common for single family residences within District I and II along the front and rear yard setback areas. The medical office space will also include a large, west-facing deck on the second floor that will provide additional open space as part of the project. The project more than meets all requirements pertaining to required open space.

General:

Use Permit

Required Use Permit findings per MBMC Section 10.84.060 and how the project complies are as follows:

1. The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located.

The purpose of the Local Commercial (CL) zoning district is to provide sites for businesses serving the daily needs of nearby residential areas while establishing development standards that prevent significant adverse effects on residential uses adjoining a CL district. The 4,406 square foot mixed use building will include a medical office, as well as a single family residence. The building will include landscaping, parking and open space all of which meet or exceed the minimum requirements as required by the code. The medical use is proposed as a small, single-tenant medical office with minimal staff. All scheduling will be controlled by appointment with little unscheduled patient visits which will minimize impacts by visiting patrons. Lastly, the building will be well below the maximum allowed area of 5,070 square feet and increased setbacks will be provided throughout several areas of the building.

2. The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working at the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city.

The purpose of the Local Commercial General Plan Land Use Category is to provide areas for neighborhood-oriented, small-scale professional offices, retail businesses, and service activities that serve the local community. Permitted uses are generally characterized by those which generate low traffic volumes, have limited parking needs, and generally do not operate late hours. The

maximum Floor Area Factor is one to one (1:1). Residential uses are permitted with discretionary review at densities consistent with the High Density Residential category.

The mixed use building will include a medical office, as well as a single family residence. The medical use is proposed as a small single-tenant medical office with minimal staff. All scheduling will be controlled by appointment with little unscheduled patient visits which will minimize impacts by visiting patrons. The building and business use will operate in a manner which is consistent with the intent of the Local Commercial Land Use Category and will not be detrimental to residents or the community.

The project is consistent with the following General Plan goals and policies:

Policy LU-1.2: Require the design of all new construction to utilize notches, balconies, rooflines, open space, setbacks, landscaping, or other architectural details to reduce the bulk of buildings and to add visual interest to the streetscape.

The overall appearance of the project will be modern in style featuring substantial second floor deck/planter area, as well as ground floor landscaping along the front and street side property lines at the ground and second floor levels. The translucent glazing system, variety of architectural materials and building articulation will help to enhance the appearance from the street.

Goal LU-3: Achieve a strong, positive community aesthetic.

The new mixed-use building will replace an older commercial building and single family residence that are currently located at the site which were originally constructed in the 1950s. The new building includes a variety of architectural features, design elements, translucent glazing system, and landscaping along the street that will all work together to contribute to the overall appearance to the area.

Policy LU-3.1: Continue to encourage quality design in all new construction.

The building will include a variety of design elements such as a landscaped eyebrow projection at the second floor level facing the street and a large second floor deck and planter area that is oriented towards the west. A variety of landscaping will be provided at the ground and second floor levels with a variety of design elements such as a glazing system. These design characteristics will help enhance the overall design and appearance of the new building.

Policy LU-6.3: Recognize the need for a variety of commercial development types and designate areas appropriate for each. Encourage development

proposals that meet the intent of these designations.

Mixed-use areas promote lively neighborhoods. Several commercial areas in Manhattan Beach accommodate residential use including the Local Commercial area along Manhattan Beach Boulevard. Approval of this project will help to achieve the overall intent of the General Plan since the mixed-use building is an allowable use within the CL district with approval of a Use Permit.

Policy LU-6.4: Recognize the unique qualities of mixed-use areas and balance the needs of both the commercial and residential uses.

The mixed-use building includes a single-tenant, medical office and a single family residence. The project includes a variety of open space and landscaping that helps to enhance the overall livability of the single family residence while maintaining an attractive exterior as part of the building. The project succeeds in balancing the needs of both uses.

3. The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be located.

The building will include landscaping, parking, open space and setbacks all of which meet or exceed the minimum development standards as required by the code. The proposed mixed use building (medical office and residence) is allowed within the Local Commercial (CL) zoning district with approval of use permit.

4. The proposed use will not adversely impact or be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking, noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.

The proposed project complies with all development standards and does not create demands which exceed the capacity of public services and facilities which cannot be mitigated, in that, the mixed use building is compatible with the area, parking supplies, setbacks, and landscaping. The medical use is proposed as a small medical office with minimal staff. Increased setbacks are provided along the second and third floor levels to the west and landscaping is provided throughout in order to minimize any potential impacts related to aesthetics and design of the building. Additionally, the project will comply with the 45 degree day light plane requirement which will reduce any potential impacts to the single family residence located directly to the south. The Traffic Engineer has reviewed the project and is satisfied that there are no parking impacts, with the proposed conditions. Other city departments have reviewed

the project and are satisfied that any potential impacts will be addressed by the attached conditions of approval

Public Input

A public notice for the project was mailed to property owners within 500 feet of the site and published in the Beach Reporter newspaper. Staff has received no inquiries or responses to the project hearing notice.

ENVIRONMENTAL DETERMINATION

The Project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Sections 15332 based on staff's determination that the project is an infill development within an urbanized area.

CONCLUSION

Staff recommends that the Planning Commission conduct the public hearing for the proposed Use Permit, discuss the information and testimony received, and adopt the attached resolution, approving the project with conditions

Attachments:

- A. Draft Resolution
- B. Vicinity Map
- C. Applicant description
- D. Architectural Plans

cc: Manhattan Beach Plastic Surgery
Properties, LLC
Srour & Associates, Applicant Rep.
Tomaro Design Group, Architect.

RESOLUTION NO. PC 16-__

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
MANHATTAN BEACH APPROVING A USE PERMIT FOR
CONSTRUCTION OF A NEW MIXED USE BUILDING AT 1762
MANHATTAN BEACH BOULEVARD (MANHATTAN BEACH PLASTIC
SURGERY PROPERTIES, LLC)**

**THE PLANNING COMMISSION OF THE CITY OF MANHATTAN BEACH DOES
HEREBY RESOLVE AS FOLLOWS:**

SECTION 1. The Planning Commission of the City of Manhattan Beach hereby makes the following findings:

- A. The Planning Commission of the City of Manhattan Beach conducted a public hearing on July 27, 2016, pursuant to applicable law, and considered an application for a use permit for demolition of the existing building on the site and construction of a 4,406 square foot mixed use building to include a 1,835 square-foot medical office, a 2,434 square foot single family residence and 137 square feet of stair and circulation area on the property located at 1762 Manhattan Beach Boulevard in the City of Manhattan Beach.
- B. The public hearing was advertised pursuant to applicable law, testimony was invited and received.
- C. The existing legal description of the site is Lot 1 in Block 2 of Redondo Villa Tract No. 3 of Map Recorded in Book 10 Page 185, of the Los Angeles County Recorder.
- D. The applicant for the subject project is Manhattan Beach Plastic Surgeries Properties, LLC, the owner of the property.
- E. Pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt, pursuant to Sections 15332 based on staff's determination that the project is an infill development within an urbanized area.
- F. The project will not individually nor cumulatively have an adverse effect on wildlife resources, as defined in Section 711.2 of the Fish and Game Code.
- G. The property is located within Area District I and is zoned CL, Commercial Local. The use is permitted by the zoning code with a use permit. The surrounding properties consist of CL (Local Commercial – west), CG (General Commercial – east) and RS (Residential Single Family – north and south) zoning.
- H. The General Plan designation for the property is Local Commercial. The General Plan encourages new commercial development that enhances the community aesthetic and provides a variety of commercial development types. The project is consistent with the intent General Plan Goals and Policies.
- I. The Planning Commission made findings required to approve the Use Permit pursuant to MBMC Section 10.84.060 as follows:
 - 1. **The proposed location of the use is in accord with the objectives of this title and the purposes of the district in which the site is located.**

The purpose of the Local Commercial (CL) zoning district is to provide sites for businesses serving the daily needs of nearby residential areas while establishing

**ATTACHMENT A
1762 MBB
PC MTG 7-27-16**

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development standards that prevent significant adverse effects on residential uses adjoining a CL district. The 4,406 square foot mixed use building will include a medical office, as well as a single family residence. The building will include landscaping, parking and open space all of which meet or exceed the minimum requirements as required by the code. The medical use is proposed as a small, single-tenant medical office with minimal staff. All scheduling will be controlled by appointment with little unscheduled patient visits which will minimize impacts by visiting patrons. Lastly, the building will be well below the maximum allowed area of 5,070 square feet and increased setbacks will be provided throughout several areas of the building.

2. **The proposed location of the use and the proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the public health, safety or welfare of persons residing or working at the proposed project site or in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city.**

The purpose of the Local Commercial General Plan Land Use Category is to provide areas for neighborhood-oriented, small-scale professional offices, retail businesses, and service activities that serve the local community. Permitted uses are generally characterized by those which generate low traffic volumes, have limited parking needs, and generally do not operate late hours. The maximum Floor Area Factor is one to one (1:1). Residential uses are permitted with discretionary review at densities consistent with the High Density Residential category.

The mixed use building will include a medical office, as well as a single family residence. The medical use is proposed as a small single-tenant medical office with minimal staff. All scheduling will be controlled by appointment with little unscheduled patient visits which will minimize impacts by visiting patrons. The building and business use will operate in a manner which is consistent with the intent of the Local Commercial Land Use Category and will not be detrimental to residents or the community.

3. **The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it would be.**

The building will include landscaping, parking, open space and setbacks all of which meet or exceed the minimum development standards as required by the code. The proposed mixed use building (medical office and residence) is allowed within the Local Commercial (CL) zoning district with approval of use permit.

4. **The proposed use will not adversely impact or be adversely impacted by nearby properties. Potential impacts are related but not necessarily limited to: traffic, parking, noise, vibration, odors, resident security and personal safety, and aesthetics, or create demands exceeding the capacity of public services and facilities which cannot be mitigated.**

The proposed project complies with all development standards and does not create demands which exceed the capacity of public services and facilities which cannot be mitigated, in that, the mixed use building is compatible with the area, parking supplies, setbacks, and landscaping. The medical use is proposed as a small medical office with minimal staff. Increased setbacks are provided along the second and third floor levels to the west and landscaping is provided throughout in order to minimize any potential

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impacts related to aesthetics and design of the building. Additionally, the project will comply with the 45 degree day light plane requirement which will reduce any potential impacts to the single family residence located directly to the south. The Traffic Engineer has reviewed the project and is satisfied that there are no parking impacts, with the proposed conditions. Other city departments have reviewed the project and are satisfied that any potential impacts will be addressed by the attached conditions of approval

J. This Resolution, upon its effectiveness, constitutes the Use Permit for the subject project.

Section 2. The Planning Commission of the City of Manhattan Beach hereby **APPROVES** the subject Use Permit application for a new mixed use building, subject to the following conditions (*indicates a site specific condition):

Site Preparation / Construction

1. The project shall be constructed and operated in substantial compliance with the submitted plans and project description as approved by the Planning Commission on July 27, 2016. Any substantial deviation from the approved plans and project description must be reviewed and approved by the Planning Commission.
2. A Construction Management and Parking Plan shall be submitted in conjunction with all construction and other building plans, to be approved by the Community Development, Police and Public Works Departments prior to issuance of permits. The plan shall provide for the management of all construction related traffic during all phases of construction, including delivery of materials and siting of construction related equipment (job site offices, trailers, materials etc.) and parking of construction related vehicles.
3. All electrical, telephone, cable television system, and similar service wires and cables shall be installed underground to the appropriate utility connections in compliance with all applicable Building and Electrical Codes, safety regulations, and orders, rules of the Public Utilities Commission, the serving utility company, and specifications of the Public Works Department. Final utility equipment locations and visual screening shall be subject to Community Development review and approval.
4. During building construction of the site, the soil shall be watered in order to minimize the impacts of dust on the surrounding area.
5. A site landscaping plan utilizing drought tolerant plants, including large-box-sized trees, shall be submitted for review and approval concurrent with the building permit application. All plants shall be identified on the plan by the Latin and common names. The current edition of the Sunset Western Garden Book contains a list and description of drought tolerant plants suitable for this area. At least two street trees shall be retained or provided as the Public Works Department determines to be appropriate.
6. A low pressure or drip irrigation system shall be installed in the landscaped areas, which shall not cause any surface run-off. Details of the irrigation system shall be noted on the landscaping plans. The type and design shall be subject to the approval of the Public Works and Community Development Departments.
7. Backflow prevention valves shall be installed as required by the Department of Public Works, and the locations of any such valves or similar devices shall be subject to approval

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by the Community Development Department prior to issuance of building permits.

8. All defective or damaged curb, gutter, street paving, and sidewalk improvements shall be removed and replaced with standard improvements, subject to the approval of the Public Works Department.
9. The back of driveway approach must be six inches higher than the flow line on the street. M.B.M.C. 9.76.030. Driveway slope shall not exceed 15% throughout the entire approach path. The difference in driveway slope shall not exceed 7.5 % between any two points within ten (10) feet along the driveway or the approach.
10. Any unused water or sanitary sewer laterals must be abandoned at the City main.
11. No waste water shall be permitted to be discharged from the premises. Waste water shall be discharged into the sanitary sewer system.
12. Property line clean outs, mop sinks, erosion control, and other sewer and storm water items shall be installed and maintained as required by the Department of Public Works or Building Official. Oil clarifiers and other post construction water quality items may be required.
13. Energy efficient security lighting for the site shall be provided in conformance with Municipal Code requirements including glare prevention design. Interior lighting within the building shall be designed to limit unnecessary light visible to adjacent neighbors by use of screening, timing devices, motion sensors, and other available technology.
14. A Knox Box shall be installed at a designated location near the front of the structure for Fire Department access.

Commercial Operational Restrictions

15. The facility shall include a 1,835 square foot, single-tenant, medical office or other use with a parking demand not to exceed the medical office parking requirement (1 stall per 200 square feet) and 2,434 square foot single family residence, as shown by the project plans.
16. The hours of operation for the medical office use shall be limited to 8:00am to 6:00pm daily.
17. A covered trash and recycling enclosure(s), with adequate capacity shall be provided on the site subject to the specifications and approval of the Public Works Department, Community Development Department, and City's waste contractor. A lightweight aluminum ramp for rolling the trash and recycle bins over the existing curb on Harkness Street must be provided. A trash and recycling plan shall be provided as required by the Public Works Department.
18. All signs shall be in compliance with the City's Sign Code. Pole signs and internally illuminated signs shall be prohibited. Sign plans shall be submitted to the Community Development Department for review and approval prior to building permit issuance.
19. Noise emanating from the site shall be in compliance with the Municipal Noise Ordinance.
20. Any outside sound or amplification system or equipment is prohibited.

Traffic and Parking

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21. The project shall include a total of eleven (11) paved and striped parking stalls within the lower floor level of the three level mixed use building. A total of two (2) stalls will be reserved for the single family residence and a maximum of four (4) compact commercial parking stalls shall be allowed as part of the project.
22. Parking (including bicycle parking) shall be provided in conformance with the current Manhattan Beach Municipal Code. Parking spaces shall be marked and signed as required by the Community Development Department. Commercial parking spaces shall be available to employees and customers and shall not be labeled or otherwise restricted for use by any individuals with the exception of the two residential parking spaces reserved for the dwelling unit. Gates or other obstructions to parking areas shall be subject to Community Development Director approval, and shall remain open during the business hours of operation. A proximity sensor RFID gate control and key pad code controlled ingress must be provided at any gate when closed. The RFID control must be provided to all employees/residents and shall activate the gate without requiring the approaching vehicle to stop at the driveway. Automatic exiting using vehicle detection must be provided when vehicles leave the gated area. Future parking lot modifications and any parking requirement modifications that are warranted, shall be subject to approval of the City Traffic Engineer.
23. The facility operator shall prohibit employees from parking personal vehicles on the surrounding public streets. As a minimum, the owner of the building shall include prohibitions against employee parking on local streets in any lease and/or rental agreements.
24. All two-way driveways and approaches shall be as wide as the aisle it serves. Both driveway approaches must be at least 22 feet wide (W=22'), not including approach wings.
25. Parking stall cross-slope shall not exceed five percent.
26. Doors, gates and staircases shall not swing into a vehicle aisle or public sidewalk.
27. Provide unobstructed triangle of sight visibility (5' x 15') adjacent to each driveway and behind the ultimate property line when exiting the parking areas without walls, columns or landscaping over 36 inches high. (MBMC 10.64.150)
28. All parking spaces adjacent to a vertical obstruction, except columns, must be at least one foot wider than a standard space.
29. Wheel stops are necessary for all parking spaces inside a parking lot or structure except those spaces abutting a masonry wall or protected by a 6-inch high curb. (MBMC 10.64.100D)
30. Disabled parking must comply with current standards. One or more van size spaces may be required in parking lot with sufficient height clearance. See 2013 CBC Chapter 11B, Division II and other ADA requirements.
31. Provide height clearance signs and clearance warning bar for parking structure at entrance.
32. All compact spaces shall be labeled with signs and stencil markings at the back of each

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space.

33. The parking area shall be signed and marked to the satisfaction of the City Traffic Engineer.
34. A 25-foot radius corner cut-off dedication shall be provided to the City at the southwest corner of Manhattan Beach Boulevard and Harkness Street as formed by the existing property lines. Submit plans and dedication for construction of the public sidewalk and pedestrian ramp on this corner to City standards to the City Traffic Engineer with submittal of plans to plan check and complete construction prior to final approval and Certificate of Occupancy. Show proposed right of way dedication on all plans.
35. A sidewalk easement shall be provided to the City at the proposed driveway on Harkness Street to provide an accessible sidewalk behind the approach. Submit plans and easement documentation for construction of the public sidewalk to City standards to the City Traffic Engineer with submittal of plans to plan check and complete construction prior to final approval and Certificate of Occupancy. Show proposed sidewalk easement on all plans.

Procedural

36. This Resolution shall become effective when all time limits for appeals have been exhausted as provided in MBMC Section 10.100.010.
37. The applicant must submit in writing to the City of Manhattan Beach acceptance of all conditions within 30 days of approval of the Use Permit.
38. This Use Permit shall lapse two years after its date of approval, unless implemented or extended pursuant to 10.84.090 of the Municipal Code.
39. Pursuant to Public Resources Code section 21089(b) and Fish and Game Code section 711.4(c), the project is not operative, vested or final until the required filing fees are paid.
40. Applicant shall defend, indemnify, and hold the City, its elected officials, officers, employees, volunteers, agents, and those City agents serving as independent contractors in the role of City officials (collectively "Indemnitees") free and harmless from and against any and all claims (including, without limitation, claims for bodily injury, death, or damage to property), demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs, and expenses (including, without limitation, attorneys' fees, consequential damages, disbursements, and court costs) of every kind and nature whatsoever (individually, a "Claim," collectively, "Claims"), in any manner arising out of or incident to: (i) this approval and related entitlements, (ii) the City's environmental review of this project, (iii) any construction related to this approval, or (iv) the use of the property that is the subject of this approval. Applicant shall pay and satisfy any judgment, award or decree that may be rendered against City or the other Indemnitees in any such suit, action, or other legal proceeding arising out of or incident to this approval, any construction related to this approval, or the use of the property that is the subject of this approval. The City shall have the right to select counsel of its choice. Applicant shall reimburse the City, and the other Indemnitees, for any and all legal expenses and costs incurred by each of them in connection therewith or in enforcing the indemnity herein provided. Applicant's obligation to indemnify shall not be restricted to insurance proceeds, if any, received by Applicant or Indemnitees.

RESOLUTION NO. PC 16-__

This indemnity shall apply to all Claims and liability regardless of whether any insurance policies are applicable. Nothing in this Section shall be construed to require Applicant to indemnify Indemnitees for any Claim arising from the sole negligence or willful misconduct of the Indemnitees. In the event such a legal action is filed challenging the City's determinations herein or the issuance of the permit, the City shall estimate its expenses for the litigation. Applicant shall deposit said amount with the City or enter into an agreement with the City to pay such expenses as they become due.

SECTION 3. Pursuant to Government Code Section 65009 and Code of Civil Procedure Section 1094.6, any action or proceeding to attack, review, set aside, void or annul this decision, or concerning any of the proceedings, acts, or determinations taken, done or made prior to such decision or to determine the reasonableness, legality or validity of any condition attached to this decision shall not be maintained by any person unless the action or proceeding is commenced within 90 days of the date of this resolution and the City Council is served within 120 days of the date of this resolution. The City Clerk shall send a certified copy of this resolution to the applicant, and if any, the appellant at the address of said person set forth in the record of the proceedings and such mailing shall constitute the notice required by Code of Civil Procedure Section 1094.6.

I hereby certify that the foregoing is a full, true, and correct copy of the Resolution as adopted by the Planning Commission at its regular meeting of July 27, 2016 and that said Resolution was adopted by the following vote:

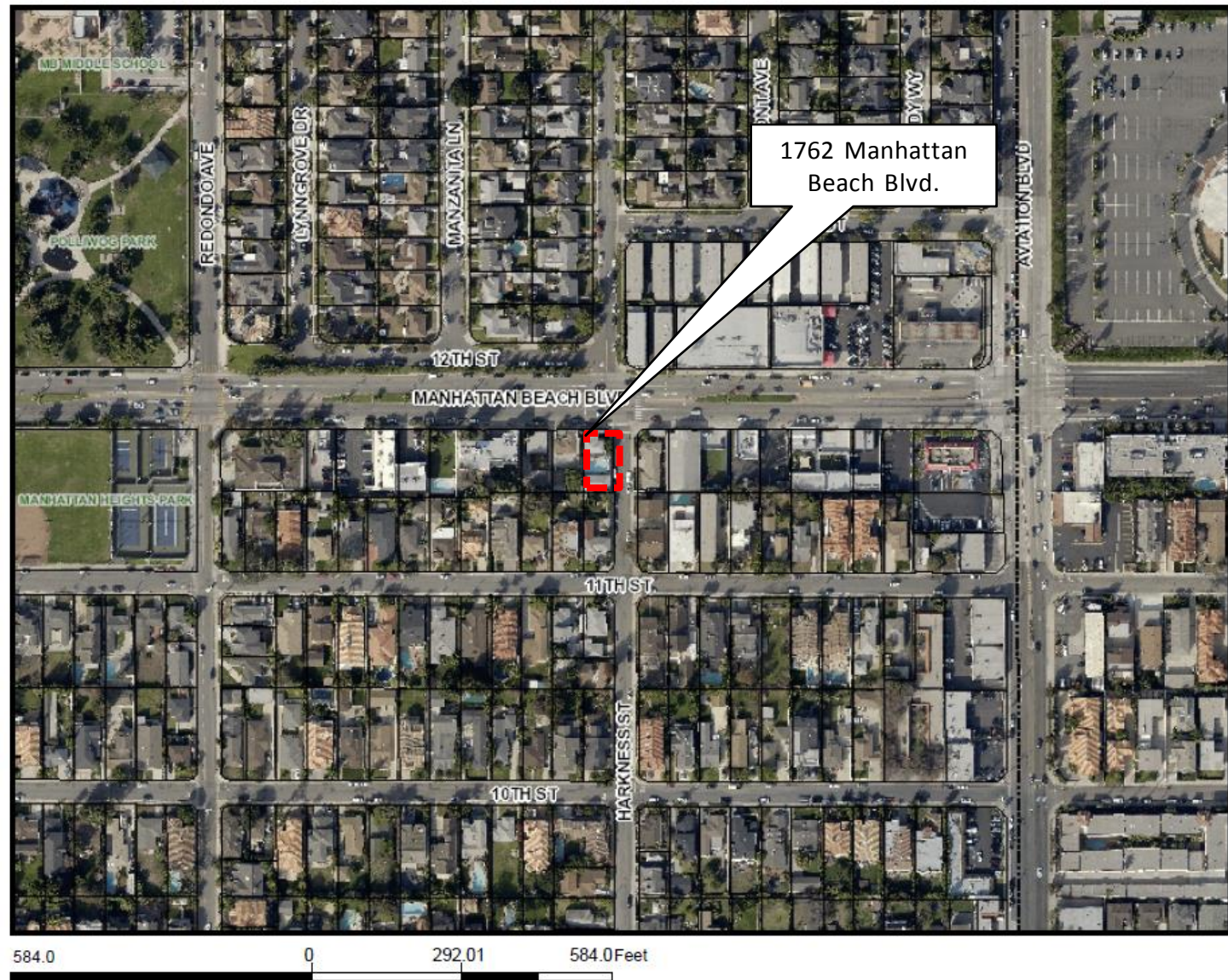
AYES:
NOES:
ABSTAIN:
ABSENT:

MARISA LUNDSTEDT,
Secretary to the Planning Commission

Rosemary Lackow,
Recording Secretary

Vicinity Map

City of Manhattan Beach



ATTACHMENT B
1762 MBB
PC MTG 7-27-16

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ATTACHMENT TO CUP APPLICATION for MIXED USE
1762 MANHATTAN BEACH BLVD.
March 2016

PROPOSAL

The property owner intends to establish his medical practice at this location with an owner's unit incorporated in the building design. The proposal includes a three story, 4,422 sf building with 1835 sf of medical office use on the second level and 2450 sf residential use on the second and third levels. The first level includes an enclosed garage and entry lobby for the medical practice.

EXISTING DEVELOPMENT

The subject property consists of a 5,070 sf, originally subdivided lot located at the SW corner of Manhattan Beach Blvd. and Harkness Street. The property contains a one story commercial building facing MBB and separate one story residential unit at the rear of the site, constructed in 1952. All existing structures, including the swimming pool between the two structures, will be demolished. The property is zoned CL which allows a variety of local commercial activities as well as high density residential uses.

ZONING AND BUILDING DESIGN

The CL zoning anticipates businesses that serve daily needs of the local community utilizing development standards compatible with nearby residential development. The proposed development responds to that goal with a contemporary, mixed use complex that provides an opportunity for business development on the boulevard without imposing commercial activities onto adjacent residential neighbors. The building design utilizes a variety of architectural components, such as planters, layered roof elements, recessed window features and building modulation that steps back from adjacent properties and from both MBB and Harkness. This is especially evident at the third level which is set back 12' from the rear (south) property line and approximately 26' from MBB.

The mixed use concept is a common configuration historically and responds to the current reality of this particular location situated on a major commercial corridor and immediately adjacent to a residential neighborhood. The building design orients the commercial use towards Manhattan Beach Blvd., with entry lobby at the NE corner of the lot, and locates the residential unit on the third level with some living area at the rear of the second level.

All parking will be located within the building in an enclosed garage located on the ground level with driveway access from Harkness Street. An existing curb cut for the residence at the rear will be reconfigured and located further north on Harkness. The garage contains a total of 11 parking spaces including an enclosed two car garage for the residential unit.

FINDINGS

The proposal satisfies the requirements for a conditional use permit for condominium purposes as follows:

The proposed location of the use is in accord with the objectives of the title and purposes of the district.

The CL zoning anticipates a range of small business activities, including medical offices, that respond to daily needs of the local community. In addition, the zoning does permit residential and mixed use development. The proposal maintains the commercial presence on a busy corridor, without overwhelming the area with an unsuitable and over developed commercial center. The commercial component is designed to accommodate a small medical practice which is a common commercial activity for the MBB corridor. Although the residential component is secondary to the business of a medical practice, it is designed with all amenities normally found in residential living environment and is totally separate from commercial activities.

This relatively small commercial site is ideal for the proposed mixed use because of its location and ability to provide suitable on-site parking. The property does easily not lend itself to a more intense use generating higher parking needs.

The proposed location and the proposed conditions under which it would be operated will be consistent with the General Plan; will not be detrimental to public health, safety or welfare of business or persons residing or working in or adjacent to the neighborhood; and will not be detrimental to the general welfare of the community or the city.

The proposed location of the use is in accord with the objectives of the title and purposes of the district in that new business opportunities are created in a building designed in such a way as to blend in with both the high activity of the commercial corridor as well as with the adjacent residential neighborhood. All components of this application are intended to comply with applicable zoning and building code requirements, including setback, height, lot coverage, landscaping, parking and disabled access requirements.

This proposal responds to a number of goals identified in the General Plan which seek to support and encourage the viability of commercial areas, to preserve the positive features of individual planning areas, and to protect residential neighborhoods from the intrusion of inappropriate and incompatible uses.

- The building design is both attractive, nicely articulated, and provides an appropriate environment within which the proposed business can operate in a productive and harmonious setting without interfering with surrounding activities such as public access, traffic circulation, nearby business activities or the surrounding residential community.
- The design provides adequate parking for the building and proposed and potential uses. The building is relatively small & the limited area designated for medical use does not support a large, multi-user medical office.
- It provides all amenities normally associated with the residential and business use, and all commerce is oriented towards the MBB corridors.
- Medical Professional use generally operates within the 8am-6pm weekday profile, with reduced weekend activities limited to Saturdays, between 9am and 5pm. All scheduling is controlled by appointment, with little unscheduled patient visits.
- Finally, the proposed development will strengthen the commercial component of this CL neighborhood without compromising the integrity of the existing neighborhood character or interfering with daily activities of street.

The proposed use will comply with the provisions of this title, including any specific condition required for the proposed use in the district in which it is located.

The proposed business will operate within all provisions of the Code and any conditions that govern the specific use. In addition, the building has been designed to comply with all applicable standards and requirements.

The proposed use will not adversely impact nor be adversely impacted by nearby properties, nor will it create demands exceeding the capacity of public services and facilities which cannot be mitigated.

The design of the commercial component is intended to attract the smaller, neighborhood serving uses anticipated by the CL zone. And, for all the reasons enumerated above, the proposed mixed use building will not impact the surrounding area. Because the proposal is designed to compliment and be compatible with surrounding neighborhoods, the proposed development will not be adversely impacted by the surrounding neighborhood.

In designating this area as CL and designating specific uses and goals as part of that designation, the City has in effect determined that sufficient public services exist to accommodate the anticipated range of uses as proposed in this application.

As proposed, the development is a moderate increase of existing conditions, but will be complimentary to the site and consistent with surrounding uses and development currently taking place in the City. This proposal will not create any conflict nor will there result any significant impact upon the land use in the area as it incorporates all standards that have been established to maintain compatibility between neighboring uses.

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1762 MANHATTAN BEACH BLVD
MANHATTAN BEACH, CA 90266

PUBLIC WORKS NOTES

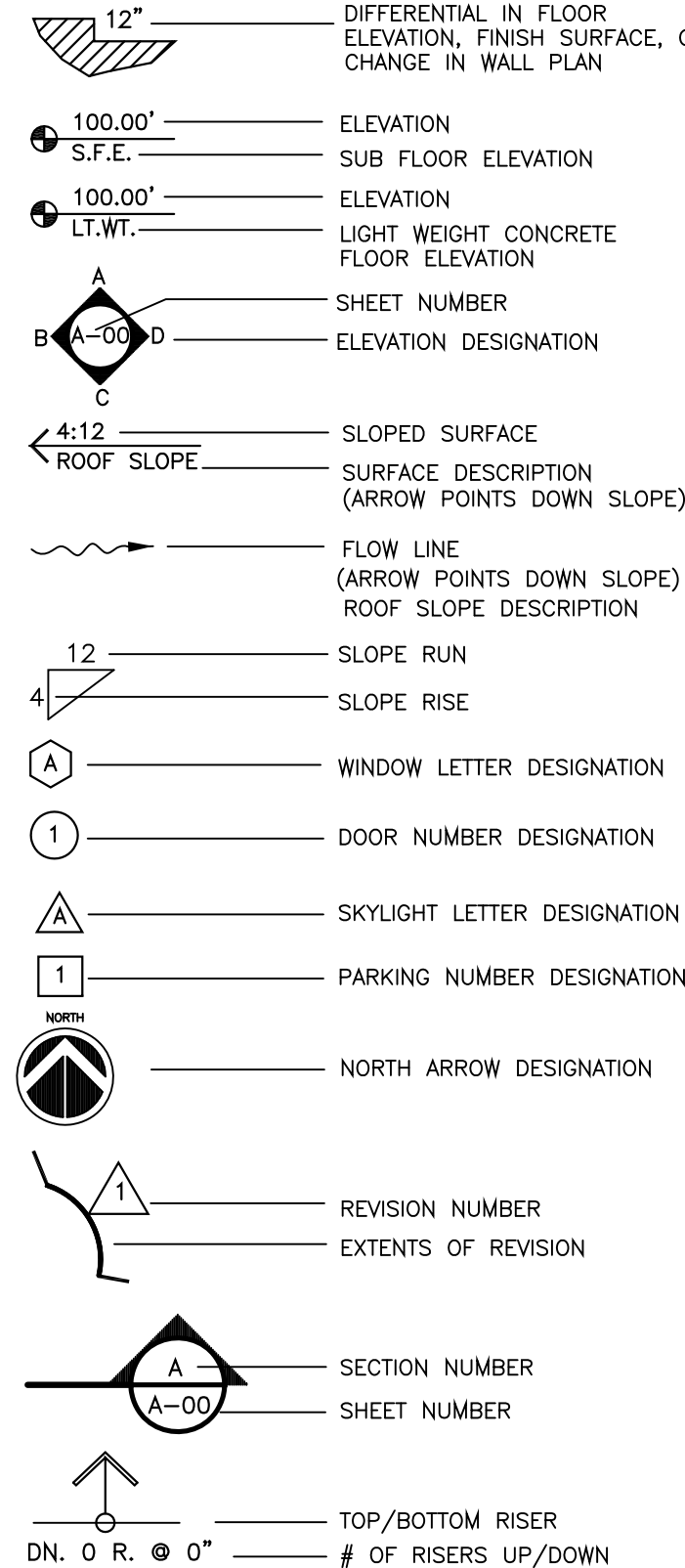
GENERAL NOTES

1. ALL CONSTRUCTION TO COMPLY WITH 2013 CBC, FOR ADDITIONAL CONDITIONS AND REFERENCE PLEASE SEE THE COMPLETE 2013 CBC.
2. INSTALLATION OF INTERIOR AND EXTERIOR WALL AND CEILING COVERINGS SHALL CONFORM TO CHAPTER 25 CBC.
3. ALL WATER CLOSETS TO FLUSH WITH 1.28 GALLON MAX, SHOWER HEADS 2 GPM, AND FAUCETS .5 GPM.
4. ALL HOSE BIBS MUST BE PROTECTED BY BACK FLOW PREVENTION AND HAVE AN ANTI-SIPHON DEVICE.
5. PROVIDE APPROVED BACKWATER VALVE FOR ALL PLUMBING FIXTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. PROVIDE CAST IRON WASTE PIPING RISERS.
6. WRITTEN APPROVAL FROM THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD). (714)396-2000 PER RULE 1403 FOR THE PROPER DISPOSAL OF ASBESTOS.
7. ONLY LOS ANGELES COUNTY HEALTH DEPARTMENT APPROVED DEVICES MAY BE UTILIZED FOR LANDSCAPE IRRIGATION BACK FLOW PREVENTION DEVICES.
8. VERIFY CLEARANCES WITH OVERHEAD UTILITY LINES FROM ALL PERMANENT AND TEMPORARY STRUCTURE INCLUDING SCAFFOLDING AND OTHER WORKING AREAS DURING CONSTRUCTION. CLEARANCE TO BE 8 FT. HORIZONTAL AND 12 FT. VERTICAL. VERIFY WITH SOUTHERN CALIFORNIA EDISON CO. BEFORE COMMENCING CONSTRUCTION.
9. SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
10. COMPLY WITH CBC SECT 3306 REGARDING PROTECTION OF PEDESTRIANS DURING CONSTRUCTION.
11. ELEVATOR SHALL REQUIRE APPROVAL AND PERMIT FROM THE STATE PRIOR TO PERMIT ISSUANCE AND SHALL COMPLY WITH CBC CHAPTER 30.
12. PROVIDE DEFERRED SUBMITTAL FOR PLUMBING DWGS PRIOR TO INSTALLATION.
13. ALL WORK SHALL CONFORM WITH THE REQUIREMENTS OF CBC 2013, AND ORDINANCES OF THE CITY OF MANHATTAN BEACH.
14. BUILDING SHALL BE PROVIDED WITH APPROVED ADDRESS AND NUMBERS AND LETTERS. EACH CHARACTER SHALL BE A MINIMUM 4 INCHES HIGH AND A MINIMUM OF .5 INCH WIDE. THEY SHALL BE INSTALLED ON A CONTRASTING BACKGROUND AND BE PLAINLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. CBC SEC. (F)501.2.
15. NOT USED
16. OBTAIN STATE APPROVAL AND PERMIT FOR ELEVATORS PRIOR TO ISNTALLATION. ELEVATORS TO COMPLY WITH CHAPTER 30 AND 11 CBC, AND SHALL COMPLY WITH GURNEY REQUIREMENTS.
17. ALL FINISHES SHALL COMPLY WITH CBC CHAPTER 8, TABLE 803.9. USE CLASS 'A' FLAME SPREAD RATING. ALL INTERIOR FINISHES SHALL COMPLY WITH SECTION 804.
18. OBTAIN STATE APPROVAL AND PERMIT FROM THE STATE ELEVATOR DIVISION PRIOR TO INSTALLATION. ALSO TO COMPLY WITH CHAPTERS 30 AND 11B, 2013 CBC.
19. CONTRACTOR TO COMPLY WITH CAL-OSHA DURING CONSTRUCTION.

PLANNING NOTES

1. ALL BUILDING FEATURES PROJECTING INTO REQUIRED SETBACKS SHALL BE INDICATED ON SITE/PLOT PLAN.
2. SEPERATE PERMITS AND PLANS ARE REQUIRED FOR SIGNS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS.
3. PROVIDE STREET ADDRESS LETTERS AT A MINIMUM 4" INCHES IN HEIGHT @ APPROVED LOCATION.
4. ROUTE UNDERGROUND CONDUIT TO POWER POLE PER PUBLIC WORKS DEPARTMENT HANDOUT ST-13.
5. GAS AND ELECTRIC METERS MUST CLEAR PROPERTY LINES BY 3'-0".
6. CONTRACTOR TO CHECK CITY RECORDS TO DETERMINE EXISTENCE OF CESSPOOL ON PROPERTY. IF THERE IS AN EXISTING CESSPOOL, IT MUST BE LOCATED AND THEN INSPECTED BY CITY PERSONNEL BEFORE DEMOLITION OR BUILDING PERMITS CAN BE ISSUED.
7. PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT, MUST BE WITHIN THE MAXIMUM ALLOWABLE HEIGHT LIMIT.
8. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITY AND EQUIPMENT LOCATIONS, INCLUDING FIRE SPRINKLER CHECK VALVES, ELECTRIC AND WATER METERS, UTILITY CABINETS, ETC. AND ANY REQUIRED PROTECTIVE POLES, WITH RESPECTIVE COMPANIES PRIOR TO INSTALLATION.
9. FUTURE SOLAR-ASSISTED WATER HEATING SYSTEM: INSTALL ON THE COLD WATER SUPPLY PIPE AT THE TOP OF THE WATER HEATER A CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING. (10.60.140 MBMC)
10. ALL EXISTING AND NEW ELECTRICAL, TELEPHONE, CATV AND SIMILAR DISTRIBUTION LINES PROVIDING DIRECT SERVICE TO A DEVELOPMENT SITE SHALL BE INSTALLED UNDERGROUND WITHIN THE SITE PER THE STANDARDS ESTABLISHED WITHIN TITLE 9 OR THE MANHATTAN BEACH MUNICIPAL CODE. (10.60.110 MBMC)
11. ALL UTILITIES TO BE UNDERGROUNDED PER MBMC SECTION 10.60.110
12. A MINIMUM OF ONE BICYCLE PARKING SPACE SHALL BE PROVIDED OR AS REQUIRED BY THE CONDITIONAL USE PERMIT
13. FOR EACH BICYCLE PARKING SPACE REQUIRED A STATIONARY OBJECT SHALL BE PROVIDED TO WHICH A USER CAN SECURE BOTH WHEELS AND THE FRAME OF A BICYCLE WITH A USER-PROVIDED 6" CABLE AND LOCK. THE STATIONARY OBJECT MAY BE EITHER A FREESTANDING BICYCLE RACK OR A WALL MOUNTED BRACKET
14. ALL PARKING SPACES SHALL HAVE WHEEL STOPS 2.5 FEET FROM THE WALL. THE WHEEL STOPS SHALL BE NO HIGHER THAN 6" AS MEASURED FROM THE PARKING AREA FINISHED SURFACE AS PER MBMC SECTION 10.64.100
15. PARKING LOTS SHALL HAVE PAVING, DRAINAGE, WHEEL STOPS, LIGHTING, SPACE MARKING, AND DIRECTIONAL SIGNS, WHICH SHALL BE SUBJECT TO APPROVAL OF THE COMMUNITY DIRECTOR.

SYMBOL LEGEND



ABBREVIATION

A.H.	ACTUAL HEIGHT	HORZ.	HORIZONTAL
A.W.	AWNING WINDOW	HT.	HEIGHT
B.O.W.	BOTTOM OF WALL	LAND.	LANDING
C.H.	CRITICAL HEIGHT	LT.WT.	LIGHT WEIGHT CONCRETE
CLG.	CEILING	MAX.	MAXIMUM
CLR.	CLEAR	MIN.	MINIMUM
COL.	COLUMN	OP.	OPERABLE
CONC.	CONCRETE	PLINE.	PROPERTY LINE
C.W.	CASEMENT WINDOW	REQ.	REQUIRED
DIM.	DIMENSION	SECT.	SECTION
DN.	DOWN	S.F.E.	SUB FLOOR ELEVATION
ELEV.	ELEVATION	SHT.	SHEET
F.A.	FROM ABOVE	SK.	SKWEED
FLR.	FLOOR	SL.	SLOPED
FX.	FIXED	T.O.W.	TOP OF WALL

CONSULTANTS
CIVIL SURVEY

CRC ENTERPRISES
27600 BOUQUET CANYON ROAD SUITE 200
SANTA CLARITA, CA 91350

PROJECT DATA
PROPERTY OWNER

MANHATTAN BEACH PLASTIC SURGERY PROPERTIES, LLC.
13700 MARINA POINTE DR. #1715
MARINA DEL REY, CA 90292

LEGAL DESCRIPTION

LOT 1, BLOCK 2
REDONDO VILLA TRACT NO. 3
APN 4164-016-001

OCCUPANCY AND ZONING

OCCUPANCY: R-3 - SECOND AND THIRD FLOOR APARTMENT
B - SECOND FLOOR MEDICAL OFFICE
S-2 - FIRST FLOOR PARKING

CONSTRUCTION TYPE: V-B, FULLY SPRINKLERED (ENTIRE BUILD.)

AREA DISTRICT: 1

ZONING: CL

NO. OF STORIES: 3

CITY, STATE, NATIONALLY
APPLICABLE CODES

2013 CBC, 2013 CMC, 2013 CPC, 2013 CEC, AND 2013
STATE ENERGY CODE STATE OF CALIFORNIA,
AND THE CITY OF MANHATTAN BEACH
2013 CA ENERGY CONSERVATION STANDARDS
2013 CA GREEN BUILDING STANDARDS CODE
MANHATTAN BEACH SUSTAINABLE GREEN PROGRAM
AND ENERGY EFFICIENT STANDARDS

AREA CALCULATIONS

LOT SIZE: 5,070 S.F.

EXISTING SQUARE
FOOTAGE(TO BE DEMOED): 1,028 S.F.

FIRST FLOOR

CIRCULATION AREA: 53 S.F.
STAIR AREA: 52 S.F.
TOTAL AREA: 105 S.F.

SECOND FLOOR

MEDICAL OFFICE: 1,835 S.F.
STAIR AREA: 32 S.F.
RESIDENTIAL: 610 S.F.
TOTAL AREA: 2,477 S.F.

THIRD FLOOR

RESIDENTIAL: 1,824 S.F.

BFA= (OFFICE+RESTROOM+CIRCULATION): 4,406 S.F.

ALLOWABLE BFA: (1.0 X 5,070) = 5,070 S.F.

LANDSCAPING CALCULATIONS

LANDSCAPING REQ'D (8%): 406 S.F.

LANDSCAPING PROVIDED: 568 S.F.

PARKING CALCULATIONS

RESIDENTIAL USE: = 2 SPACES
MEDICAL USE: 1888 S.F./200 REQ'D = 9.4 SPACES
PARKING REQ'D 11 SPACES
PARKING PROVIDED 11 SPACES

6 STANDARD
1 ADA (1 VAN)
4 COMPACT (36%)

*FOR GREATER AREA/PARKING CALC DETAIL SEE SHEET A.0.0

SCOPE OF WORK

DEMOLITION OF EXISTING BUILDINGS AND CONSTRUCTION
OF NEW 3-STORY MIXED USE BUILDING WITH 1 LEVEL OF ON
GRADE PARKING, 1,915 SF OF MEDICAL OFFICE AND A 2,546
SF APARTMENT.

DEFERRED SUBMITTALS

SIGNAGE, FIRE SPRINKLERS, STOREFRONT FRAMING MEMBERS
AND CONNECTIONS, GLASS RAILING CALCULATIONS

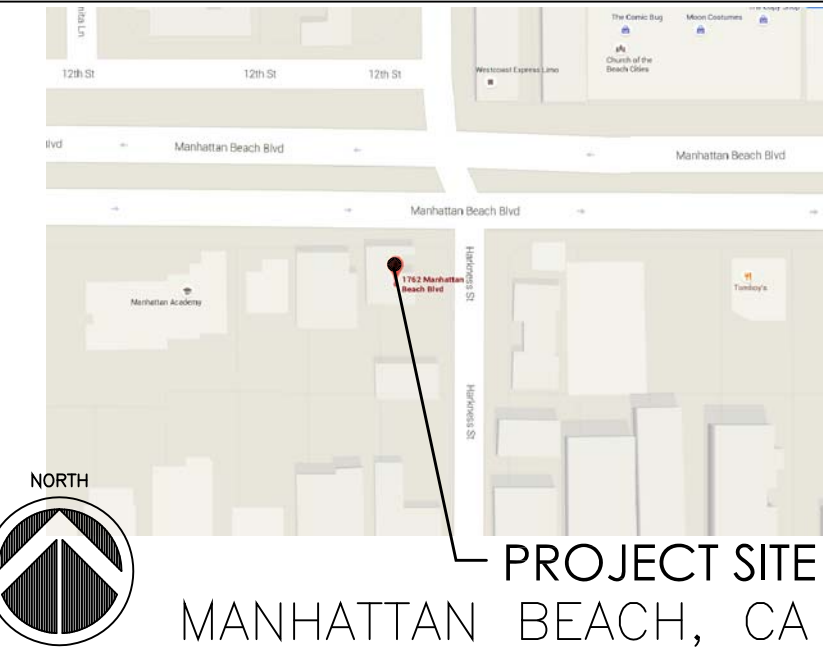
SEPARATE PERMITS

SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SIGNS,
DEMOLITION, AND SEWER CAP OF EXISTING BUILDING

HEIGHT CALCULATIONS

(100.59+100.835+103.52+104.03)/4 =102.24'
MAXIMUM ALLOWABLE HEIGHT,102.24'+30' =132.24'
ACTUAL HEIGHT =132.24'

VICINITY MAP



SHEET INDEX

GENERAL

G.0.0 TITLE SHEET AND GENERAL NOTES
C.0.1 SURVEY

ARCHITECTURAL

A.0.0 AREA CALCULATIONS
A.0.01 OPEN SPACE
A.1.0 SITE PLAN
A.2.0 FIRST FLOOR PLAN
A.2.1 SECOND FLOOR PLAN
A.2.2 THIRD FLOOR PLAN
A.2.3 ROOF PLAN
A.3.0 ELEVATIONS
A.3.1 ELEVATIONS
A.4.0 SECTIONS
A.4.1 CONTEXT SECTION
A.5.0 MODEL IMAGES
L.1.0 LANDSCAPE PLAN



ARCHITECTURE

2617 N. SEPULVEDA
MANHATTAN BEACH
CALIFORNIA 90266

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FAX: 310-318-9400
WWW.TOMARO.COM

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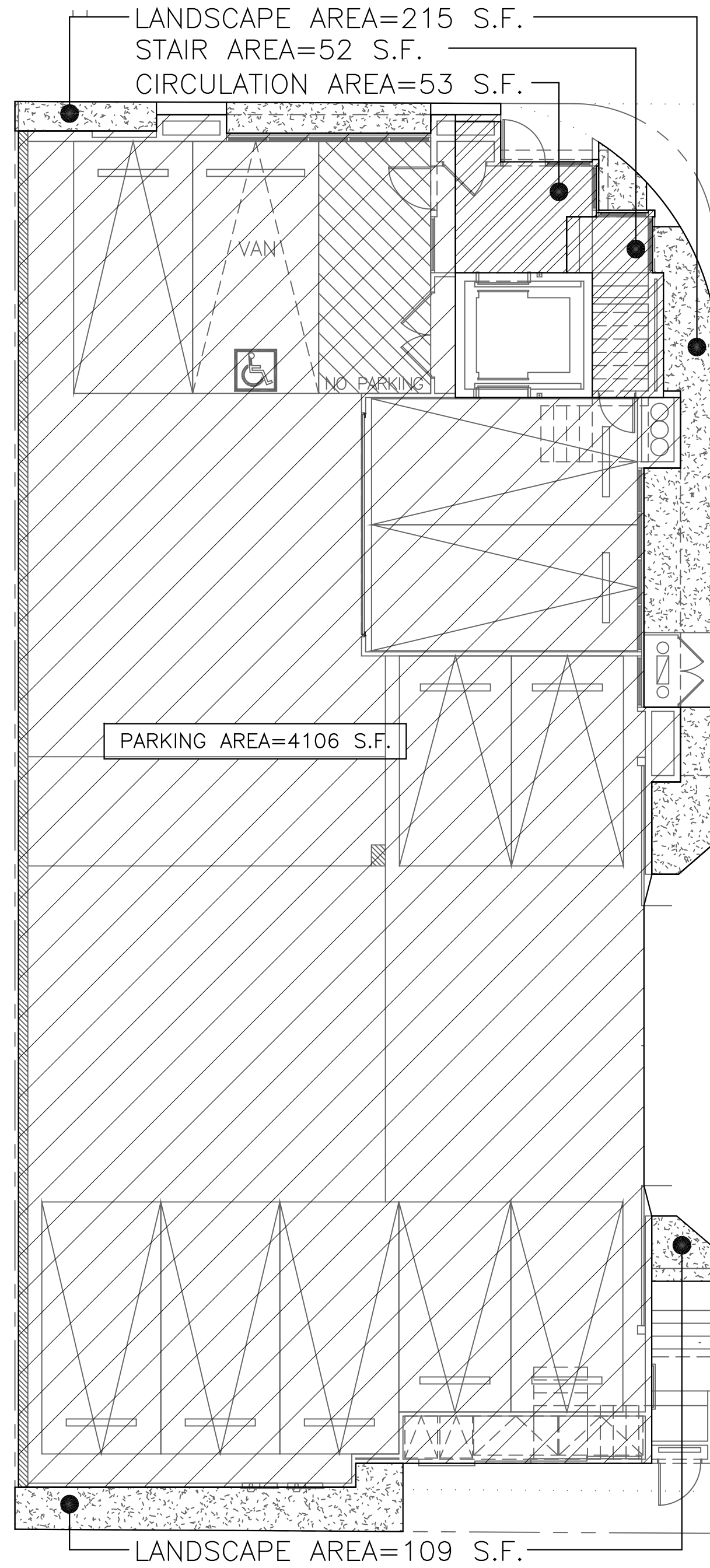
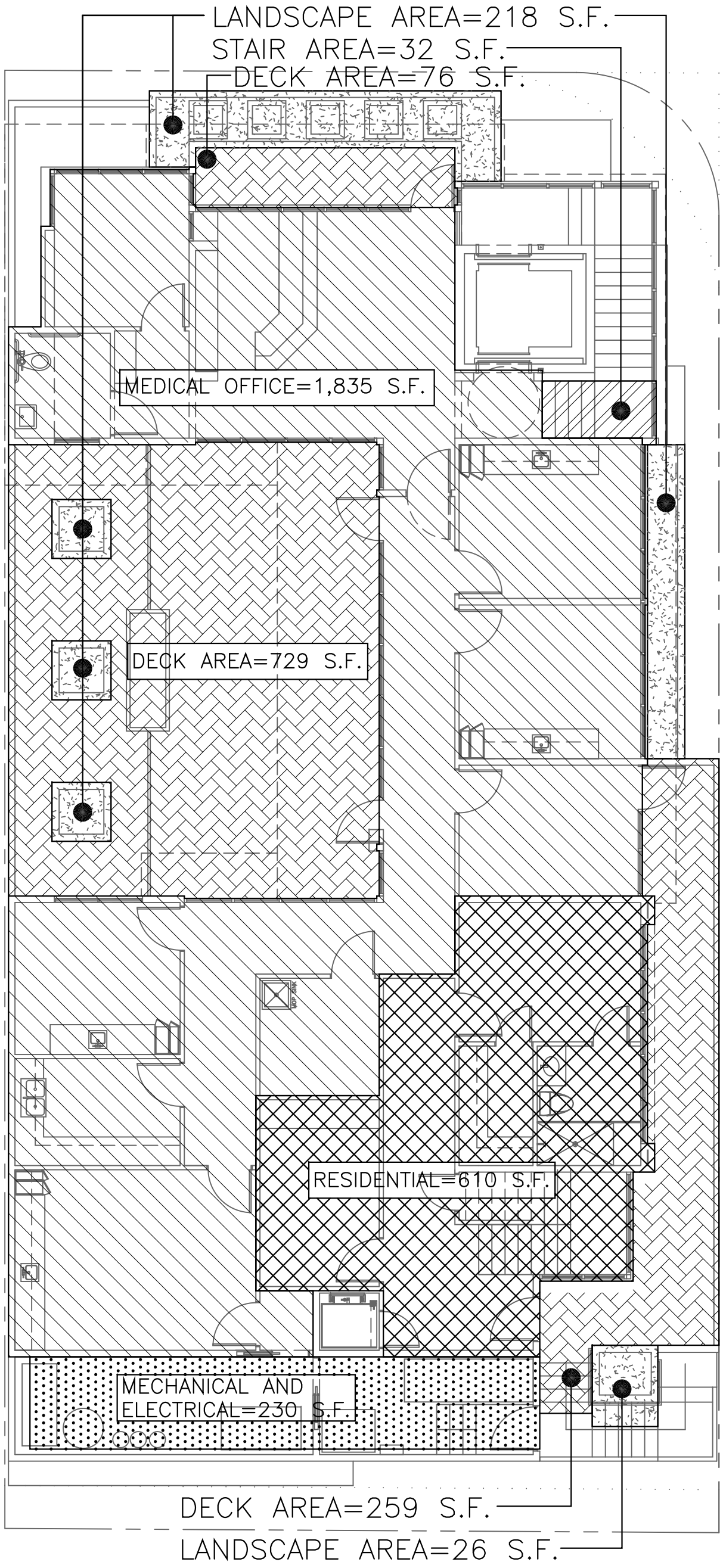
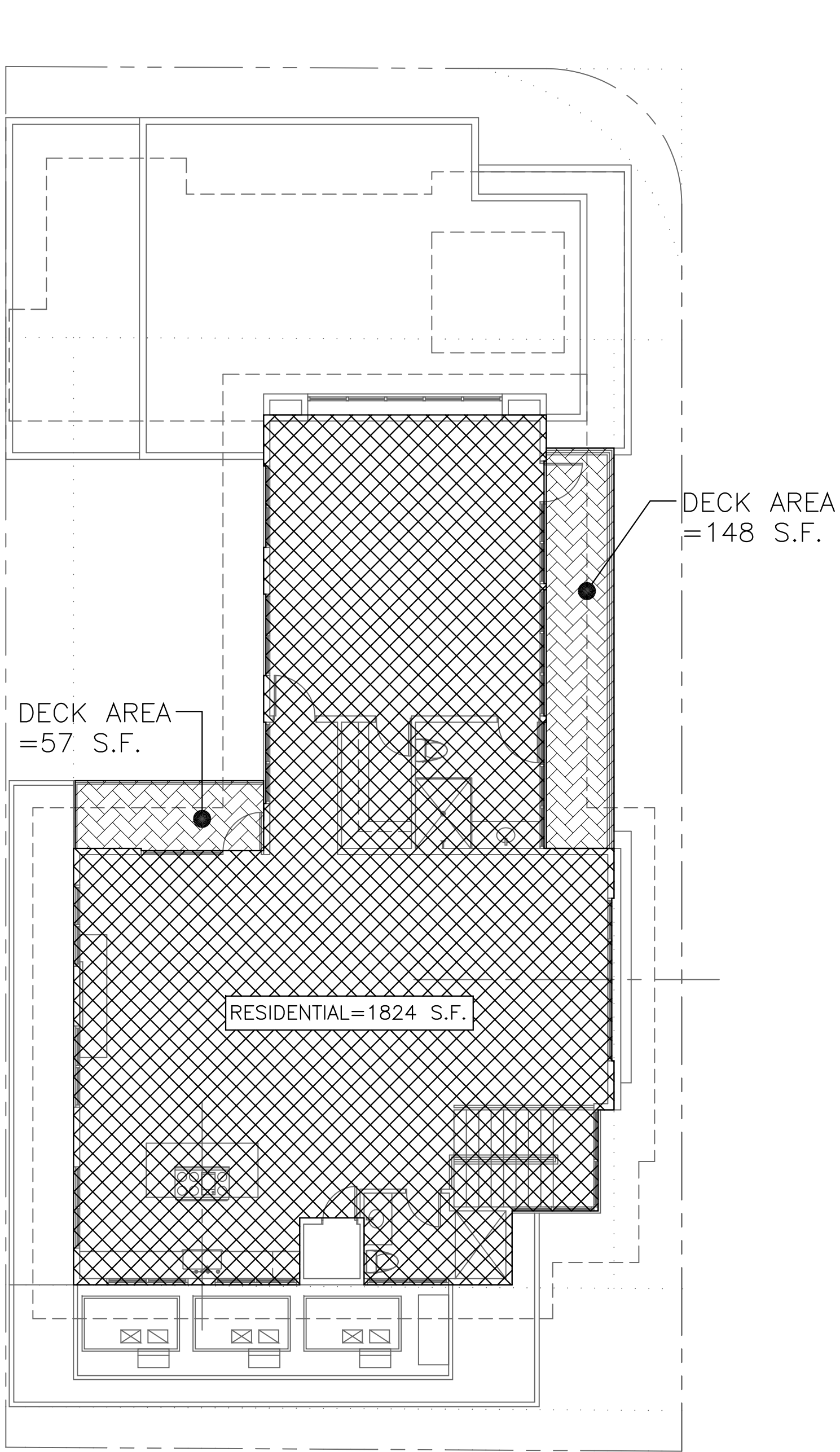
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G.0.0

ATTACHMENT D
1762 MBB
PC MTG 7-27-16

AREA CALCS	
FIRST FLOOR	
CIRCULATION AREA(MEDICAL)=	53 S.F.
STAIR AREA=	52 S.F.
SECOND FLOOR	
MEDICAL OFFICE=	1835 S.F.
STAIR AREA=	32 S.F.
RESIDENTIAL=	610 S.F.
SECOND FLOOR TOTAL=	2477 S.F.
THIRD FLOOR	
RESIDENTIAL=	1824 S.F.
TOTAL MEDICAL AREA:	1888
TOTAL RESIDENTIAL AREA:	2434
TOTAL STAIR AREA:	84
TOTAL AREA (BFA)=	4,406 S.F.
DECK AREA:	1269 S.F.
PARKING CALCS	
FIRST FLOOR PARKING=	4106 S.F.
RESIDENTIAL USE:	= 2 SPACES
MEDICAL USE:	1,888 S.F./200 REQ'D = 9.44 SPACES
PARKING REQ'D:	(11.4)11 SPACES
PARKING PROVIDED:	
FULL SIZE=	4
RESIDENTIAL=	2
COMPACT (36%)=	4
(SEE NOTE 2)	
ACCESSIBLE (VAN)=	1
TOTAL:	11
LANDSCAPE	
LOT SIZE:	5070 S.F.
X 8% =	406 S.F.
PROVIDED FIRST FLOOR:	324 S.F.
PROVIDED SECOND FLOOR:	244 S.F.
PROVIDED TOTAL:	568 S.F.
POCHE LEGEND	
GRAPHIC	DESCRIPTION
	LANDSCAPE
	OFFICE AREA
	RESIDENTIAL AREA
	CIRCULATION
	PARKING AREA
	DECK AREA
	MECHANICAL AREA
NOTES: 1. STAIR AREA OMITTED FROM PARKING CALCULATION PER MBMC 10.64.030 2. 40% COMPACT ALLOWED PER MBMC 10.64.10	





ARCHITECTURE

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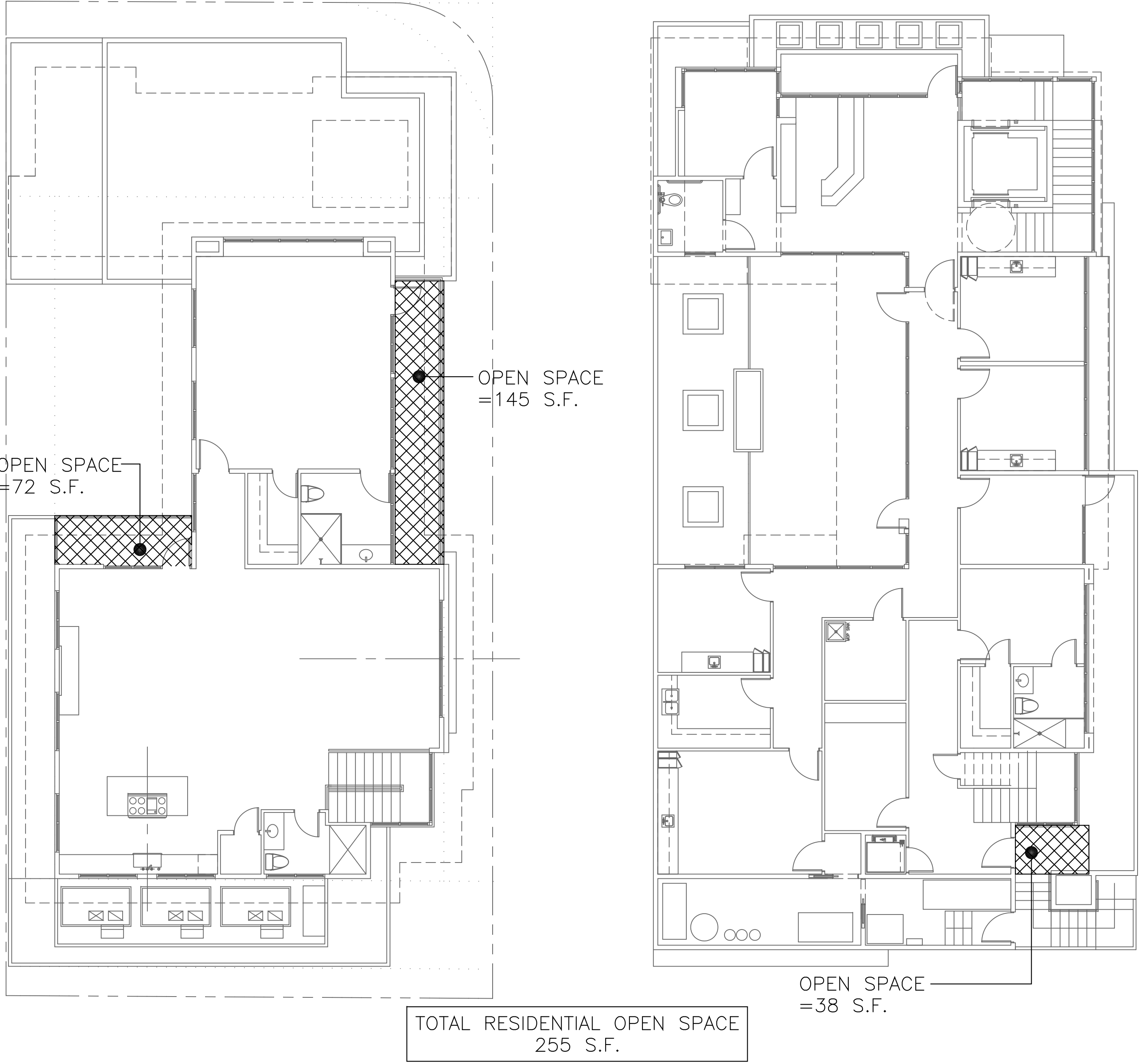
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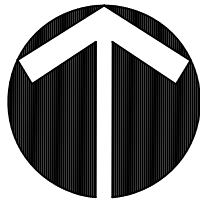
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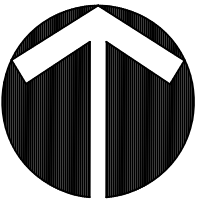
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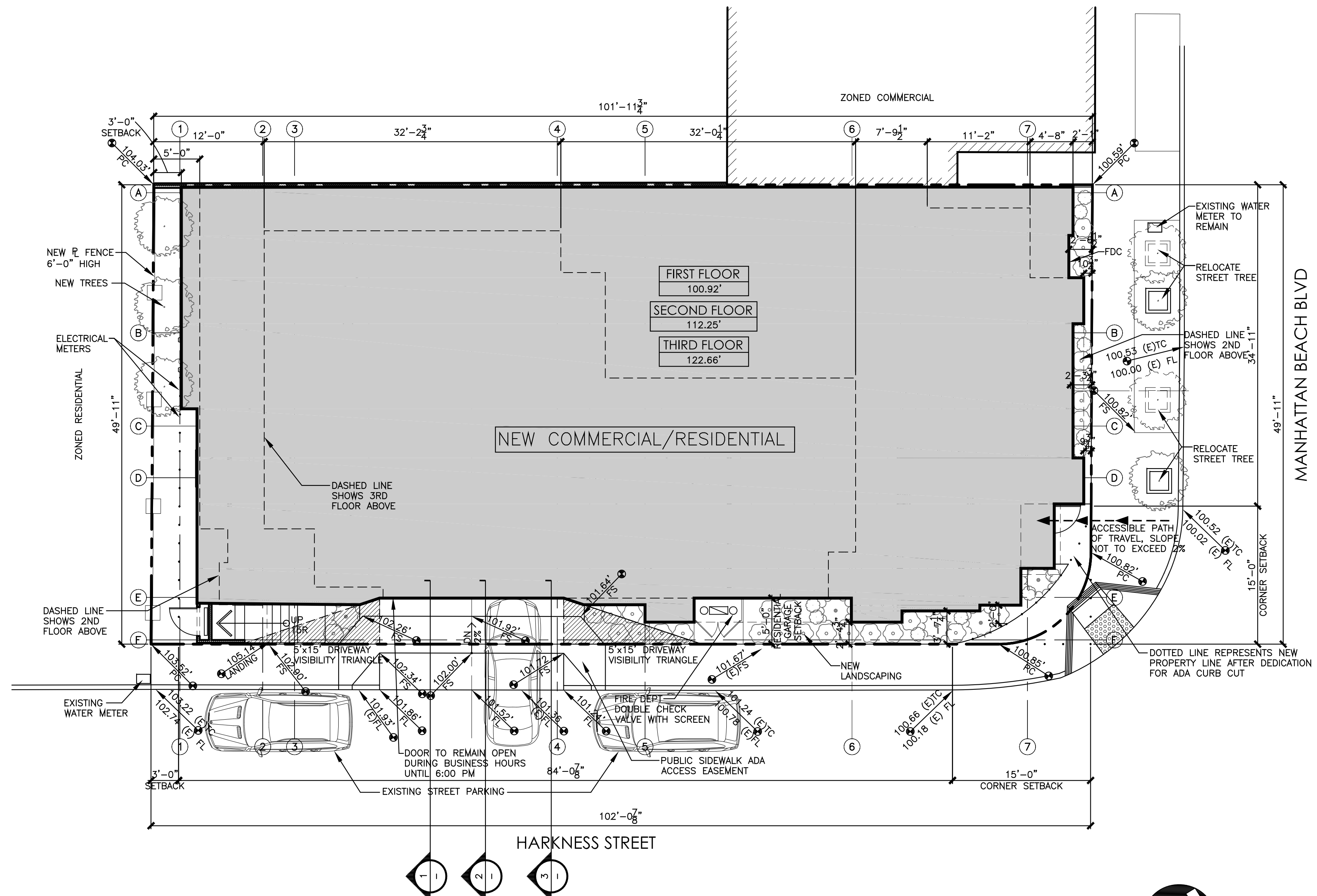
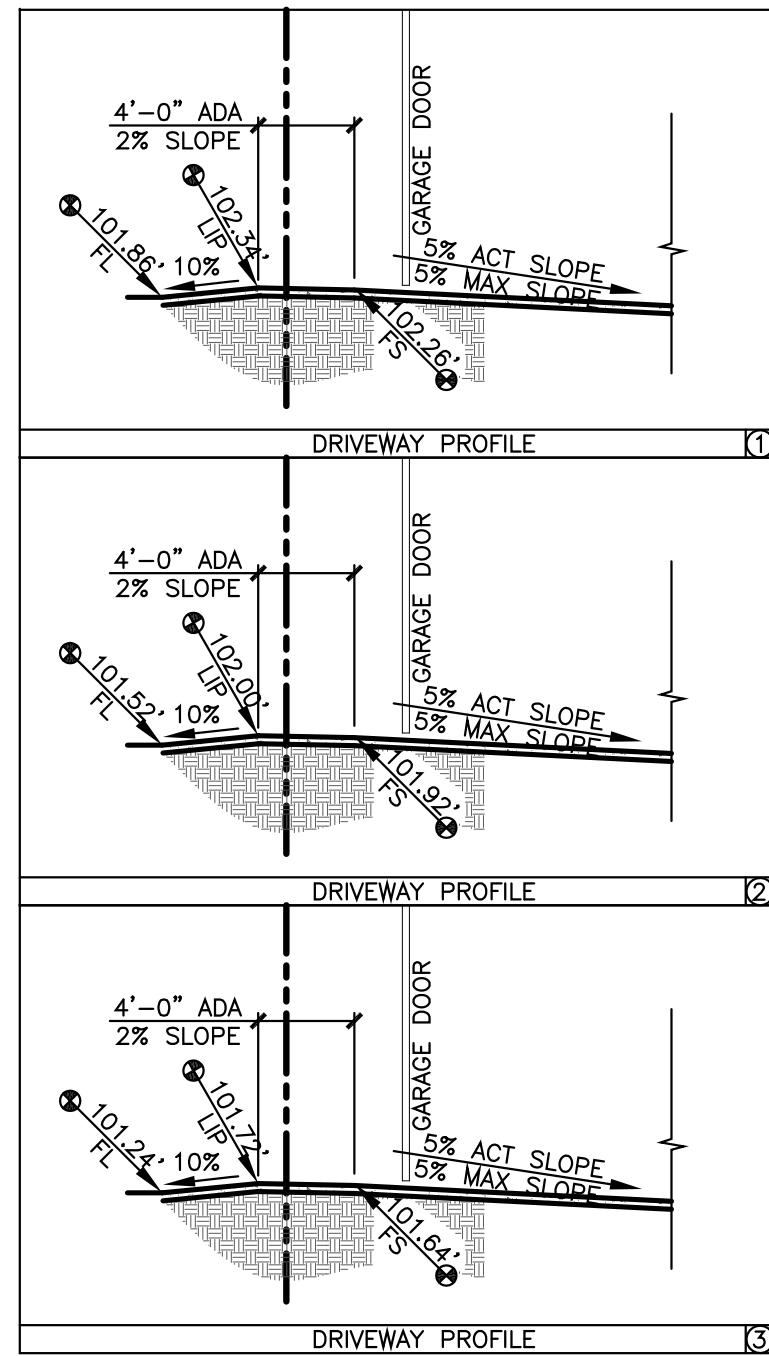


THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"

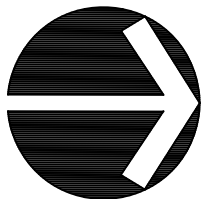


SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"





SITE PLAN
SCALE: 1/8"=1'-0"





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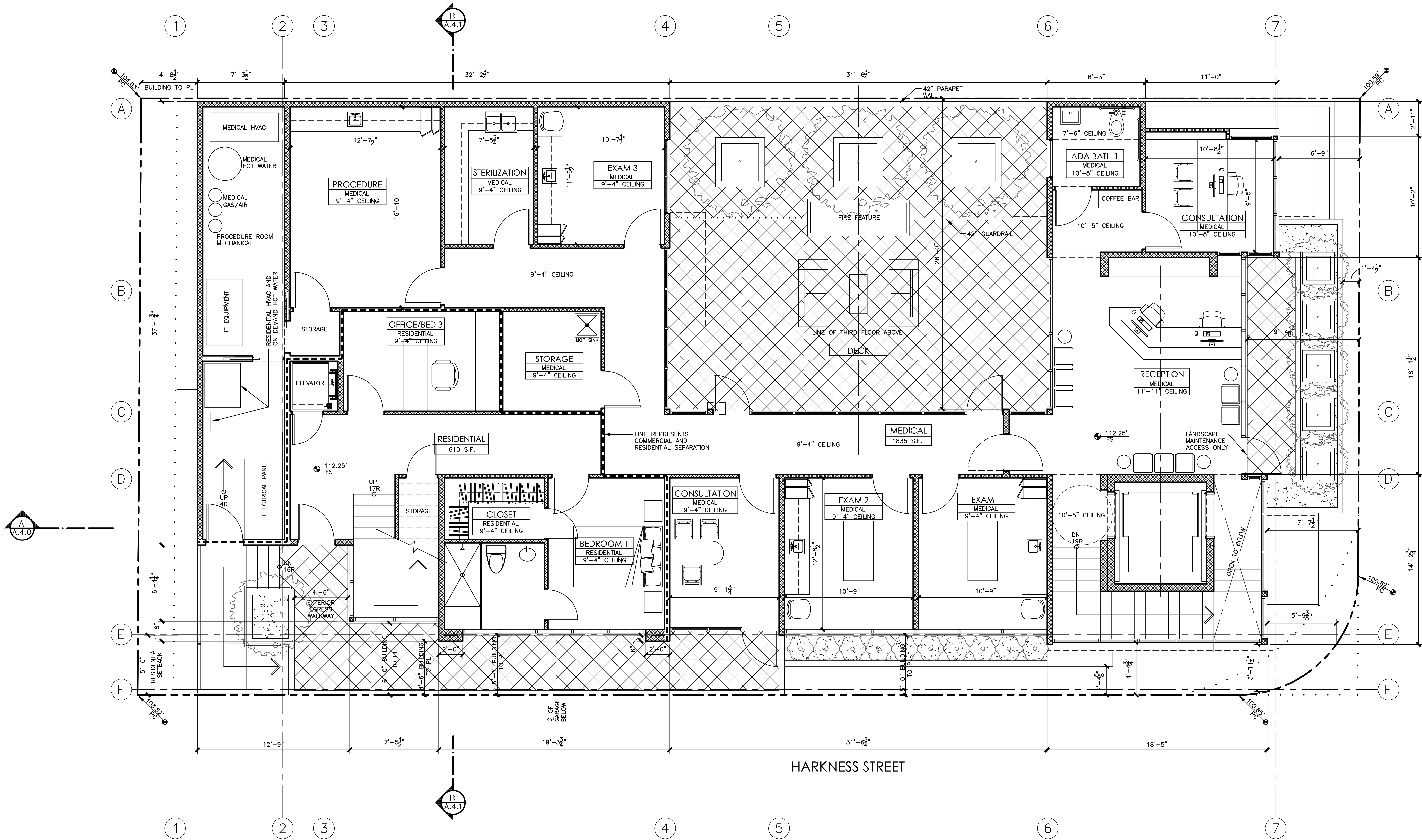
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**SECOND FLOOR
PLAN**

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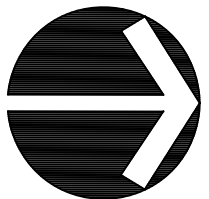
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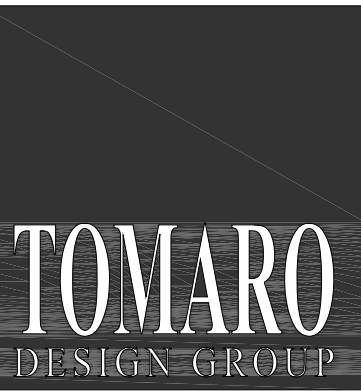
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PC MTG 7-27-16
Page 28 of 36



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"





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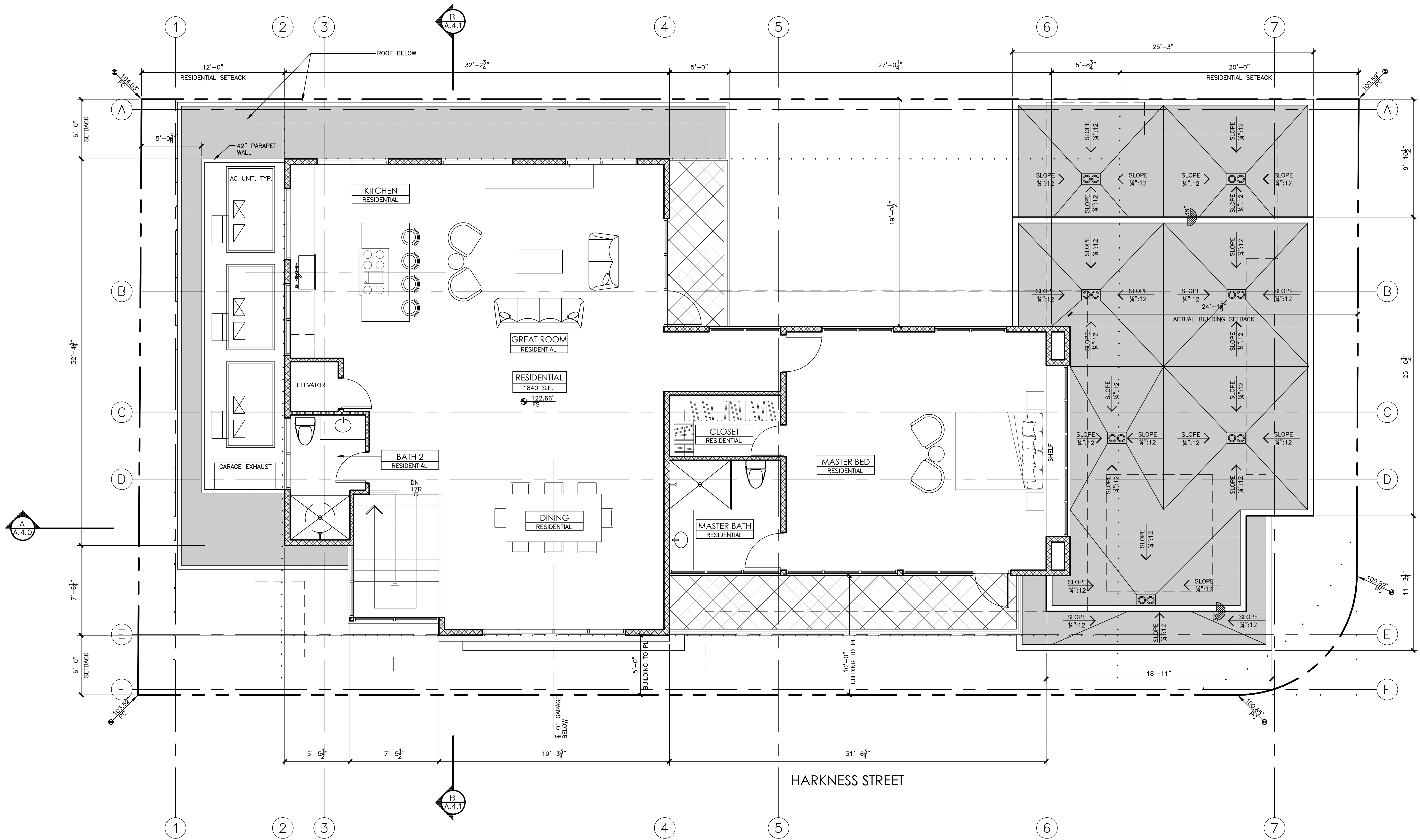
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**THIRD FLOOR
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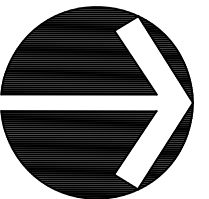
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A.2.2



THIRD FLOOR PLAN
SCALE: 1/4"=1'-0"





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ROOF PLAN

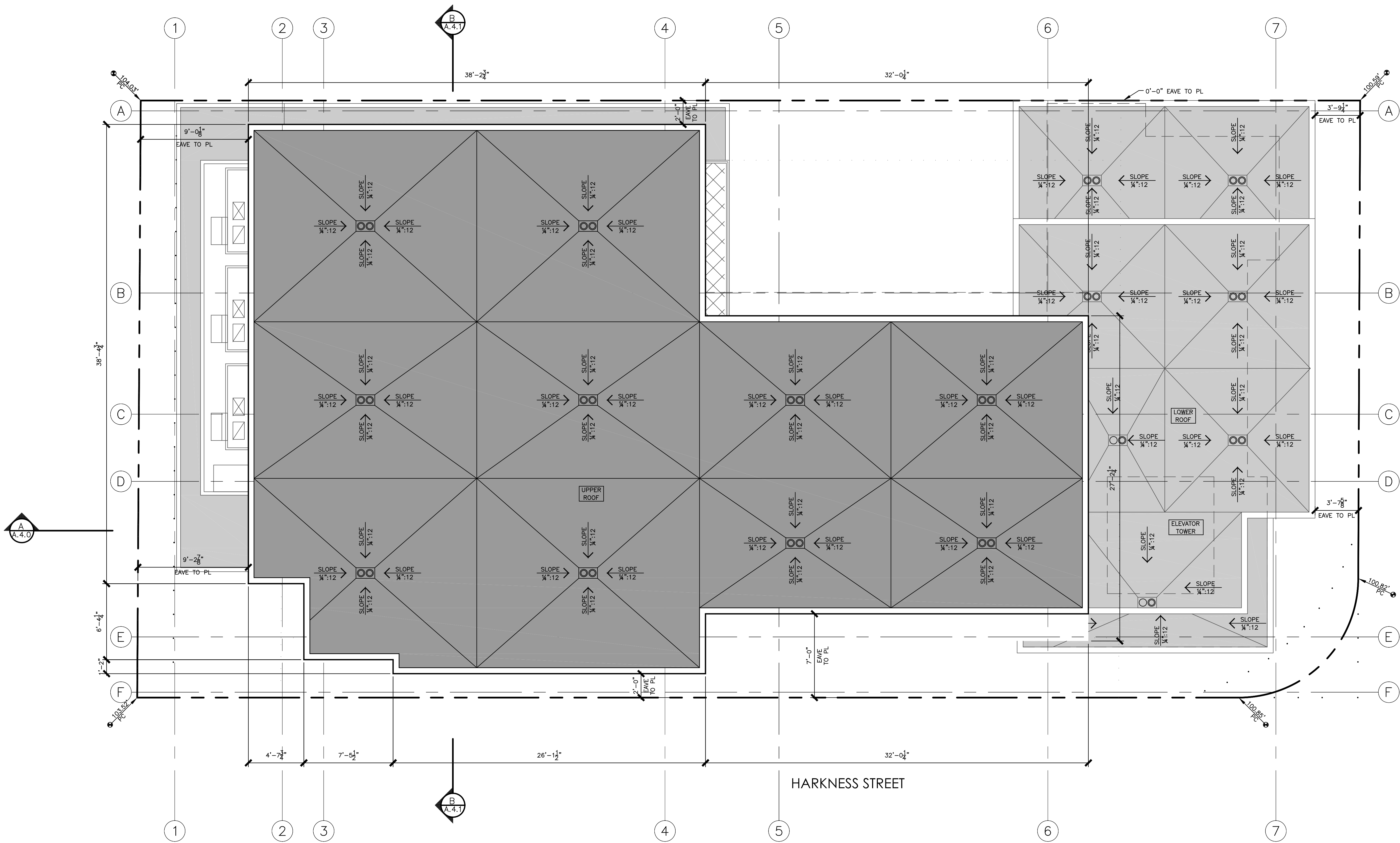
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A.2.3

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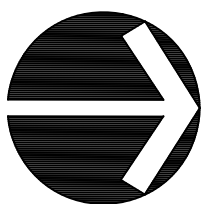


MANHATTAN BEACH BLVD



ROOF PLAN

SCALE: 1/4"=1'-0"





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NORTH ELEVATION
SCALE: 1/4"=1'-0"

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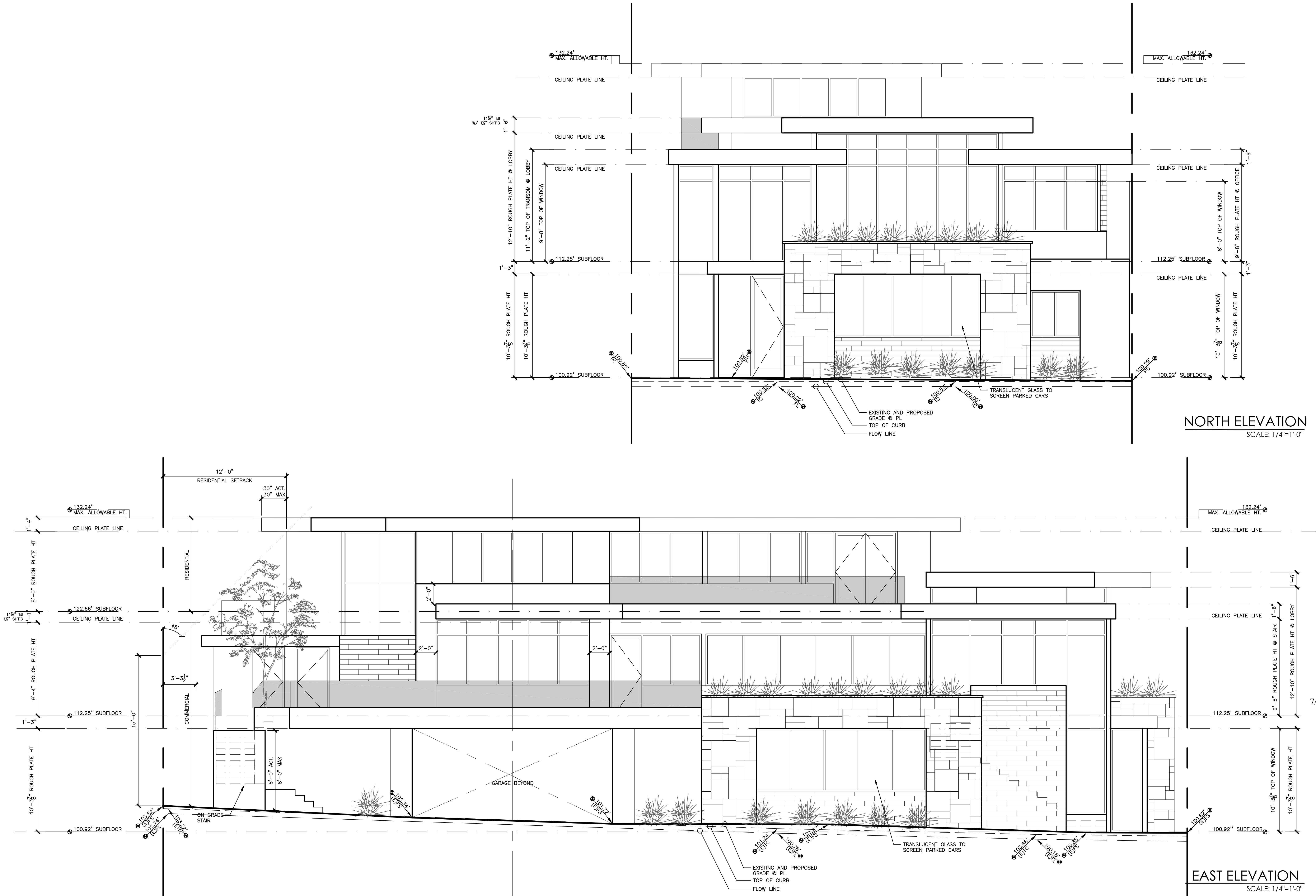
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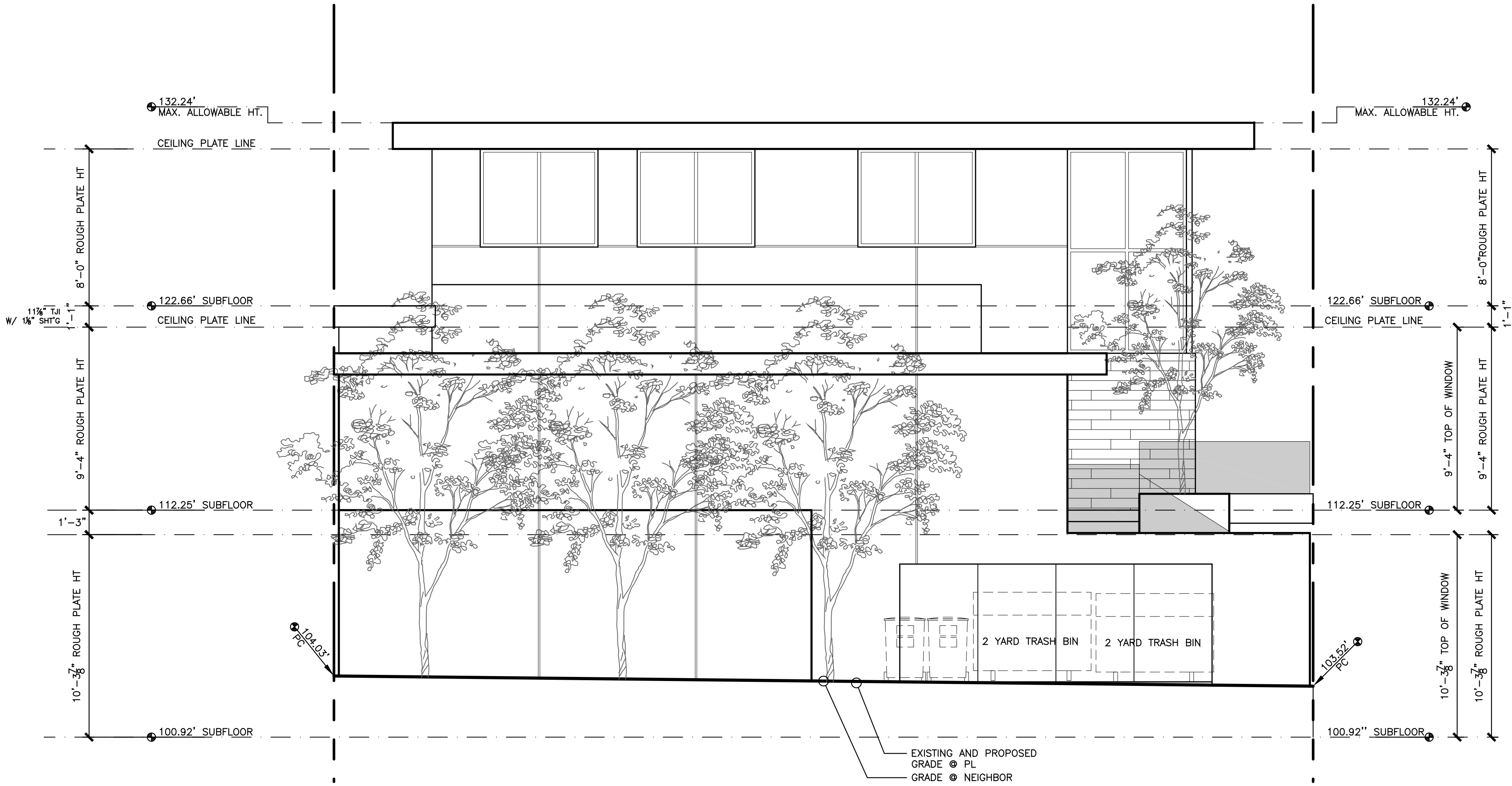
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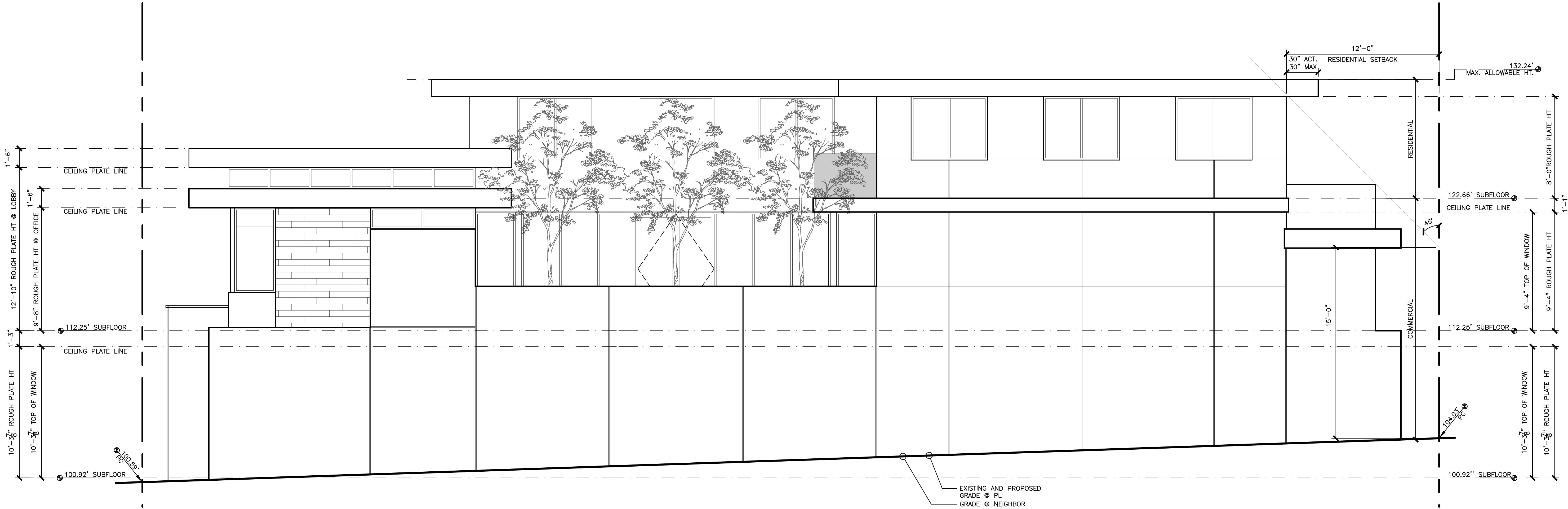
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A.3.1



SOUTH ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"



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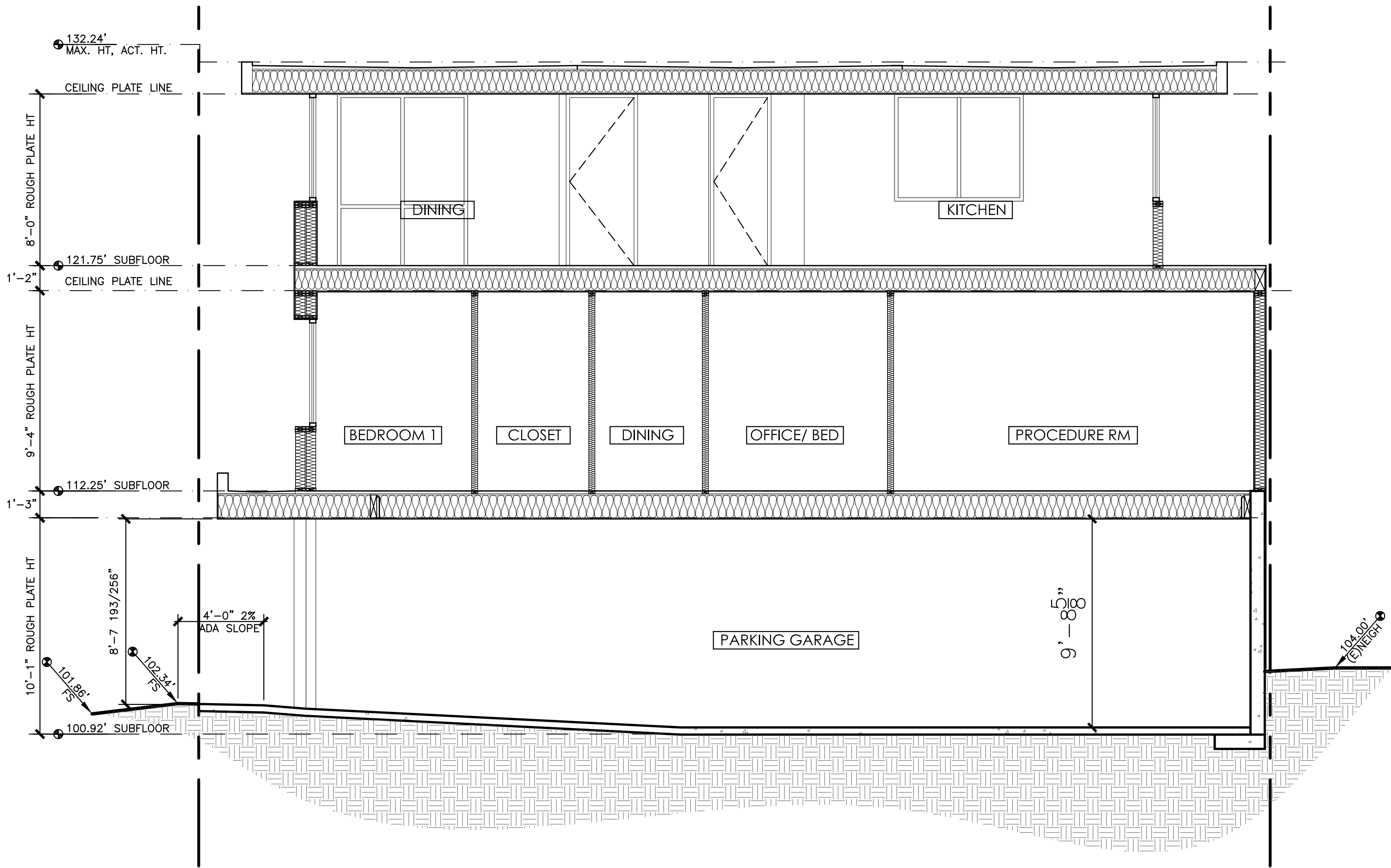
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SECTION B
SCALE: 1/4"=1'-0"



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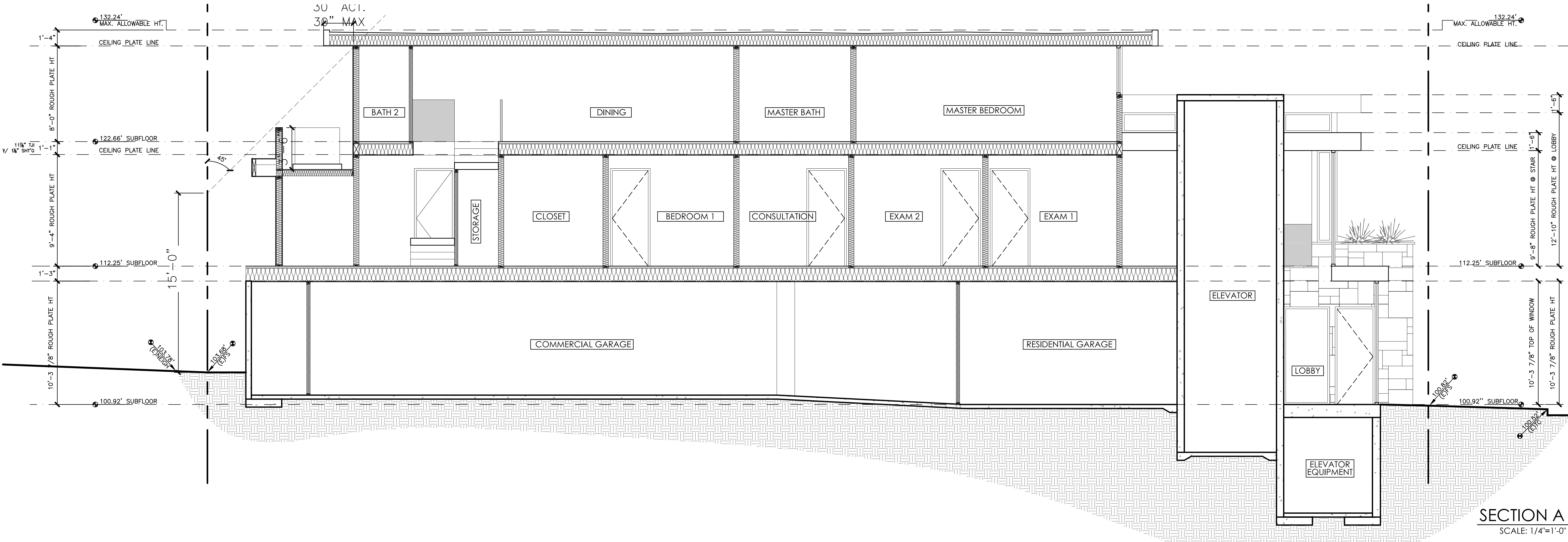
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SECTION A
SCALE: 1/4"=1'-0"



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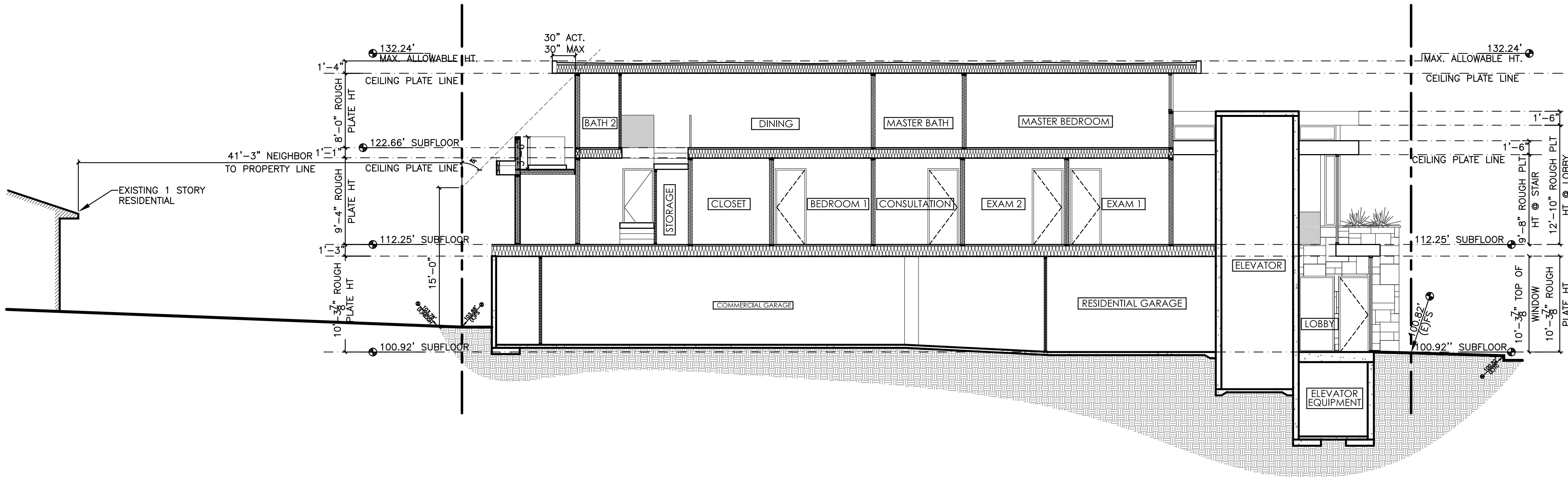
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A.4.1



SITE SECTION
SCALE: 1/8"=1'-0"



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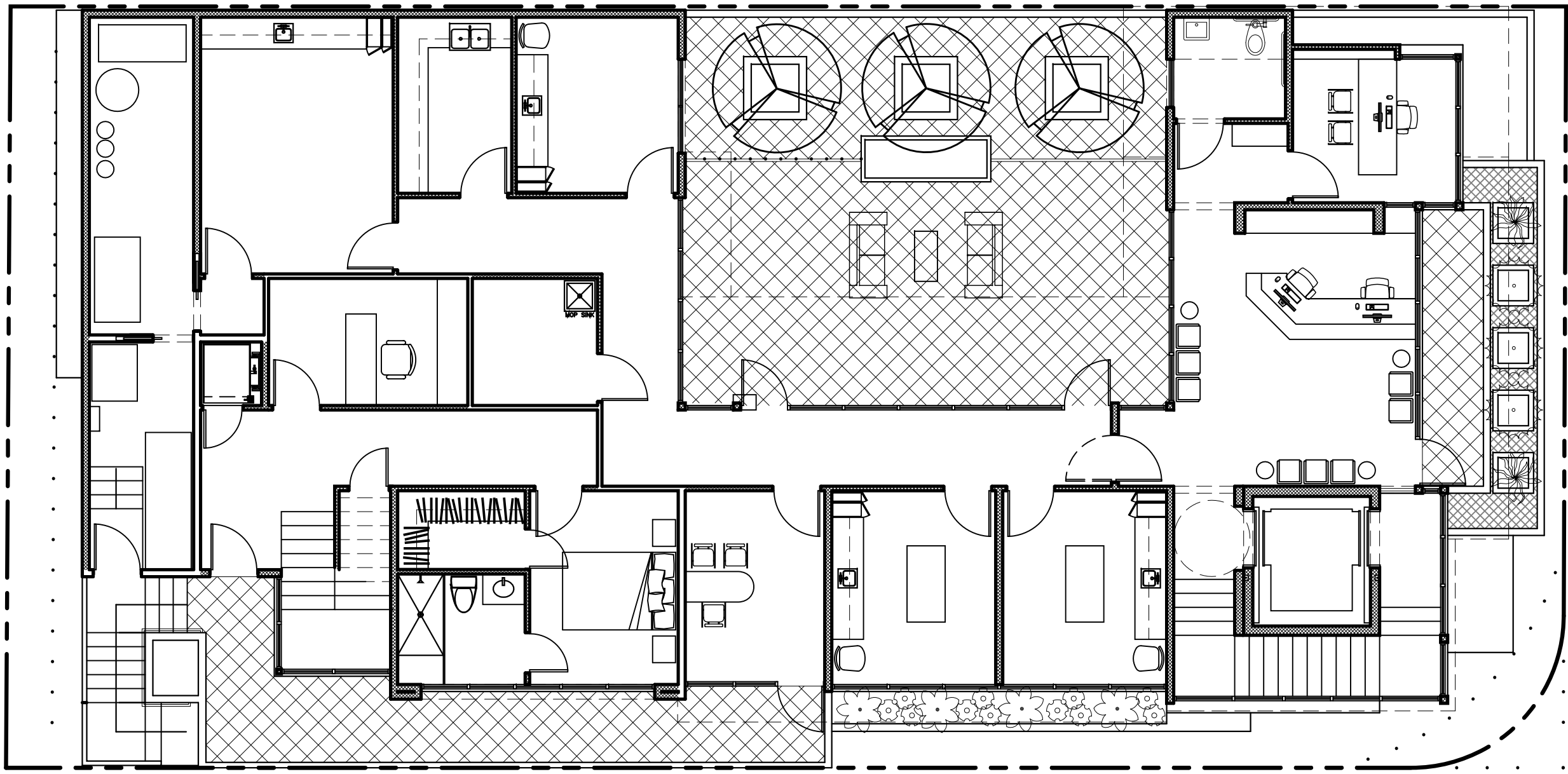
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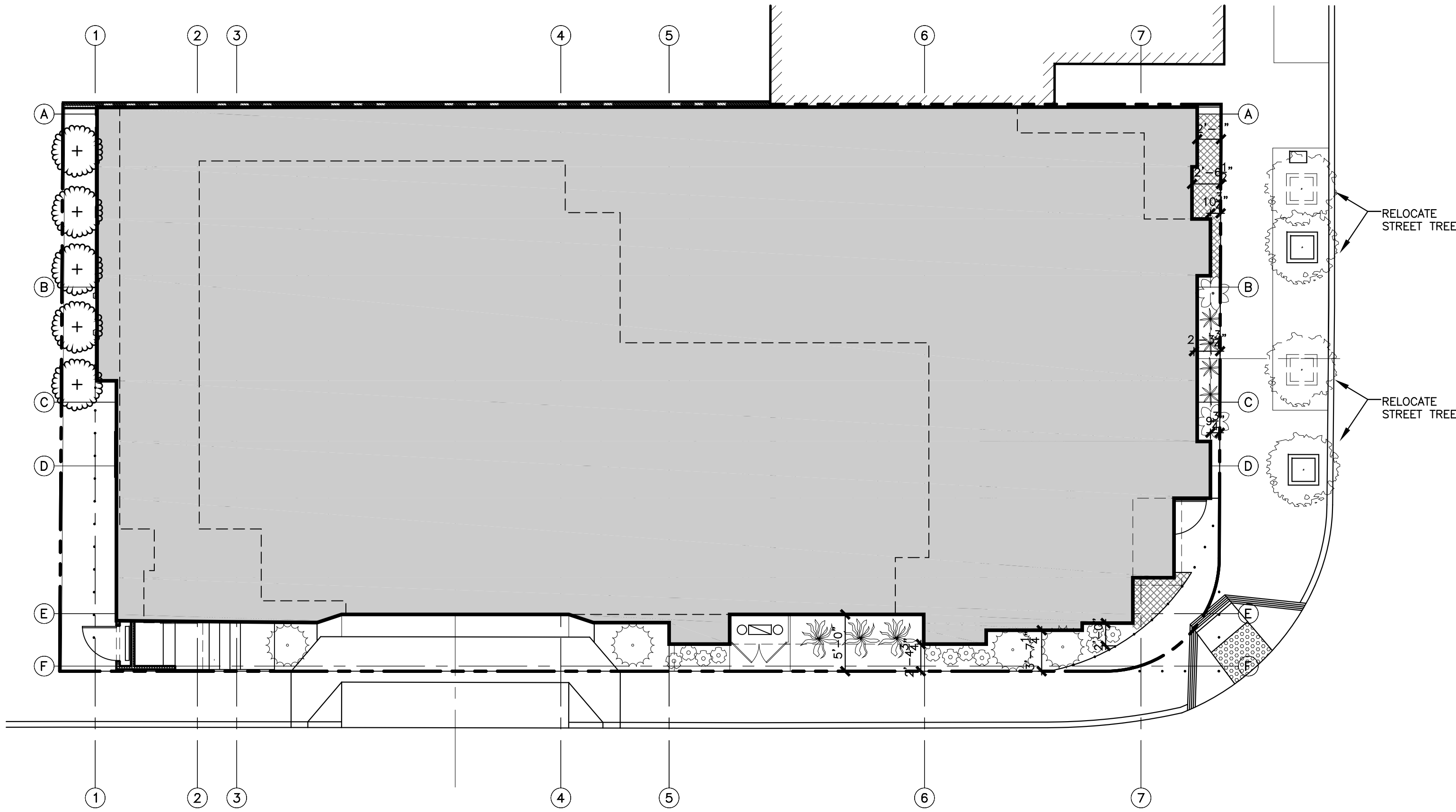
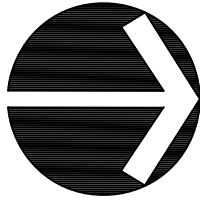
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A.5.0

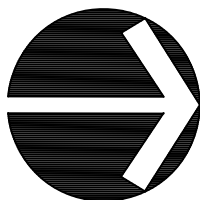
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	BOTANICAL NAME	COMMON NAME	SIZE	CANOPY SPREAD	WATER NEEDS	QTY
	HYMENOSPORUM FLAVUM	SWEET SHADE	15 GAL	15'-0"	L	3
	METROSIDEROS COLLINA SPRINGFIRE	NEW CALEDONIAN	15 GAL	6'-0"	L	5
	PITTOSPORUM CRASSIFOLIUM	KARO PITTOSPORUM	15 GAL	2'-0"	L	7
	CORDYLINE AUSTRALIS 'SUNRISE'	KELEIDSCOPE CORDYLINE	15 GAL	4'-0"	L	5
	YUCCA BRIGHTSTAR	BRIGHTSTAR YUCCA	5 GAL.	3'-0"	L	6
	PHORMIUM TEXAS 'JACK SPRATT'	JACK SPRATT FLAX	5 GAL.	3'-0"	L	3
	ECHEVERIA X 'AFTERGLOW'	AFTERGROW ECHEVERIA	1 GAL	1'-6"	L	19
	FESTUCA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE	FLATS	1'-0"	L	20



SECOND FLOOR LANDSCAPE PLAN
SCALE: 1/8"=1'-0"



FIRST FLOOR LANDSCAPE PLAN
SCALE: 1/8"=1'-0"



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