

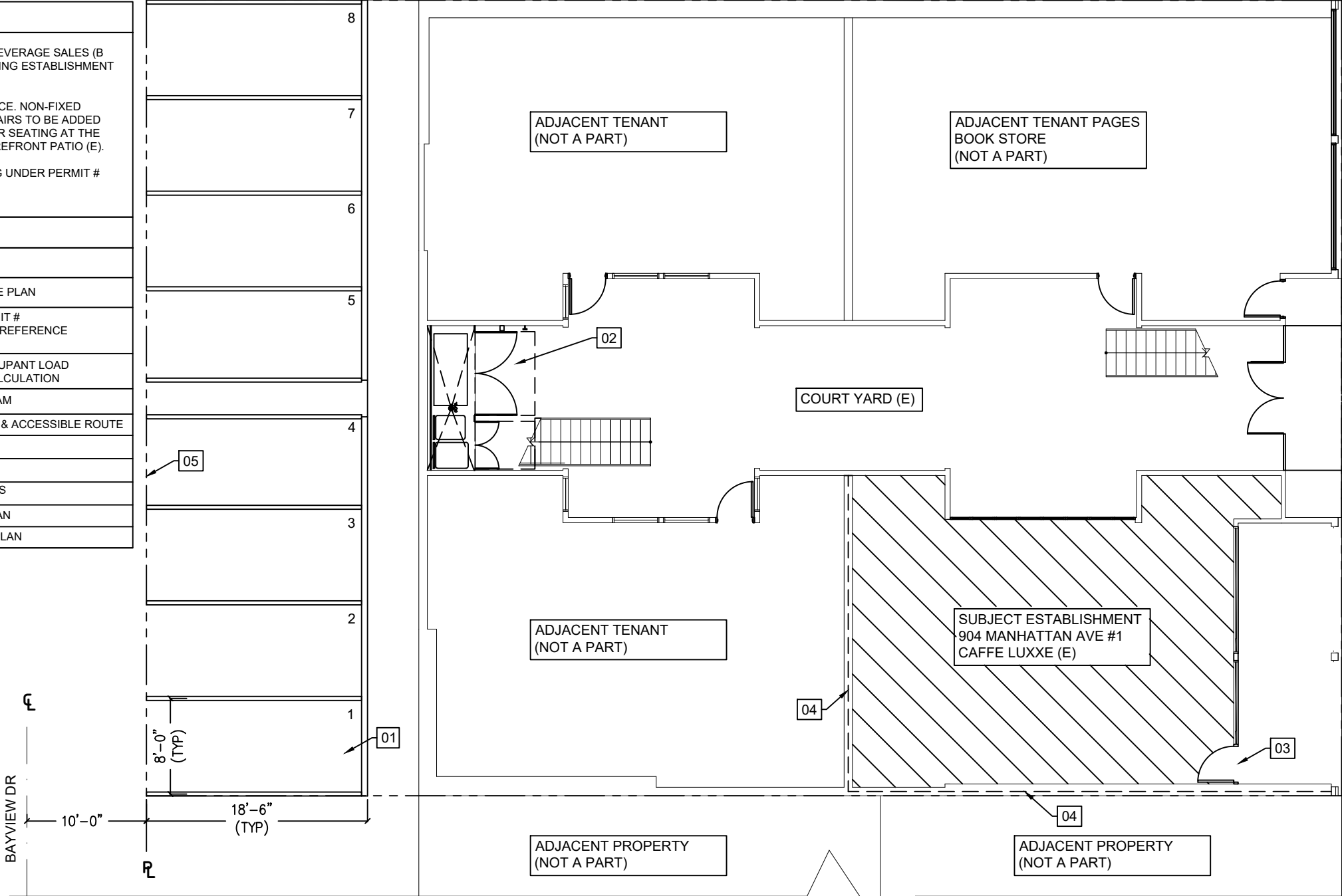

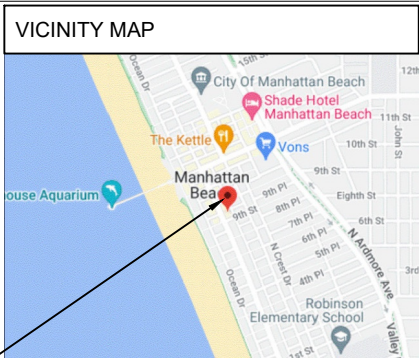


SCOPE OF WORK	
CHANGE OF USE FROM FOOD AND BEVERAGE SALES (B OCCUPANCY) TO EATING AND DRINKING ESTABLISHMENT WITH OCC < 50 (B OCCUPANCY). 	
NO PHYSICAL CHANGES TO THE SPACE. NON-FIXED UNCONCENTRATED TABLES AND CHAIRS TO BE ADDED FOR INDOOR SEATING AND OUTDOOR SEATING AT THE INTERIOR COURTYARD (E) AND STOREFRONT PATIO (E).	
NOTE: CAFE CURRENTLY OPERATING UNDER PERMIT # BLDG-23-00330 ISSUED ON 09/18/23	
SHEET INDEX 	
SHEET NO.	SHEET NAME
G0.01	COVER SHEET & SITE PLAN
G0.02	COVER SHEET PERMIT # BLDG-23-00330 (FOR REFERENCE ONLY)
G1.00	EGRESS PLAN / OCCUPANT LOAD PLAN. PLUMBING CALCULATION
G1.00B	OCCUPANCY DIAGRAM
G1.01	PROPOSED EGRESS & ACCESSIBLE ROUTE
G1.02	1:1 FAR PARKING
G2.00	GENERAL NOTES
G2.01	GENERAL ADA NOTES
A1.00	EXISTING FLOOR PLAN
A1.10	PROPOSED FLOOR PLAN



BUILDING CODES USED	
2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA ENERGY CODE (CEC) MANHATTAN BEACH MUNICIPAL CODE (MBMC)	
KEYNOTES	
01	REAR PARKING (TYP) (PARKING / ALLEY IS AT HIGHER LEVEL THAN THE GROUND FLOOR) ON BAYVIEW DR (E).
02	COVERED TRASH ENCLOSURE ON GROUND FLOOR (E)
03	MAIN ENTRANCE (E). $\frac{1}{2}$ " THRESHOLD MAX. WITH ALL REQUIRED ACCESSIBLE DOOR CLEARANCES PER CH 11B OF 2022 CBC
04	1-HOUR RATED WALL (E)
05	PROPERTY LINE
LEGAL DESCRIPTION	
ADDRESS: 904 MANHATTAN AVE #1 MANHATTAN BEACH CA 90266 ASSESSORS ID NO: 4179-016-019 PROPERTY TYPE: COMMERCIAL REGION / CLUSTER: 26 / 26681 MANHATTAN BEACH LOTS: LOT 4 AND LOT 5, BLOCK 69 CD, AD, III: DOWNTOWN COMMERCIAL	
PROJECT INFORMATION	
OCCUPANCY TYPE: B CONSTRUCTION: V-B STORY: 2 STORY PARKING REQUIRED: (3 STALLS)  PARKING PROVIDED: (8 STALLS) (NO CHANGE) FOOTAGE: 781 SQ. FT. (NO CHANGE) TOTAL OCCUPANT LOAD: 48 HOURS OF OPERATION: 7AM - 9PM NUMBER OF EMPLOYEES: 4 EMPLOYEES / SHIFT FIRE SPRINKLERED: NO	

SITE PLAN
SCALE 3/32" = 1.0'



I have surveyed the building at 904 Manhattan Ave #1 for compliance with required accessibility per the California Building Code. The proposed alteration work complies with accessibility requirements serving the area of work as described in section 11B-202 of the California Building Code.

I acknowledge that the following applies to the scope of required accessibility on this project: (check one)

☒ The building is in fully compliant with all applicable accessibility standards under the Americans with Disabilities Act (ADA) and California Building Code Chapter 11B.

APPROVAL STAMP
CITY PROJECT #
PE-25-00201



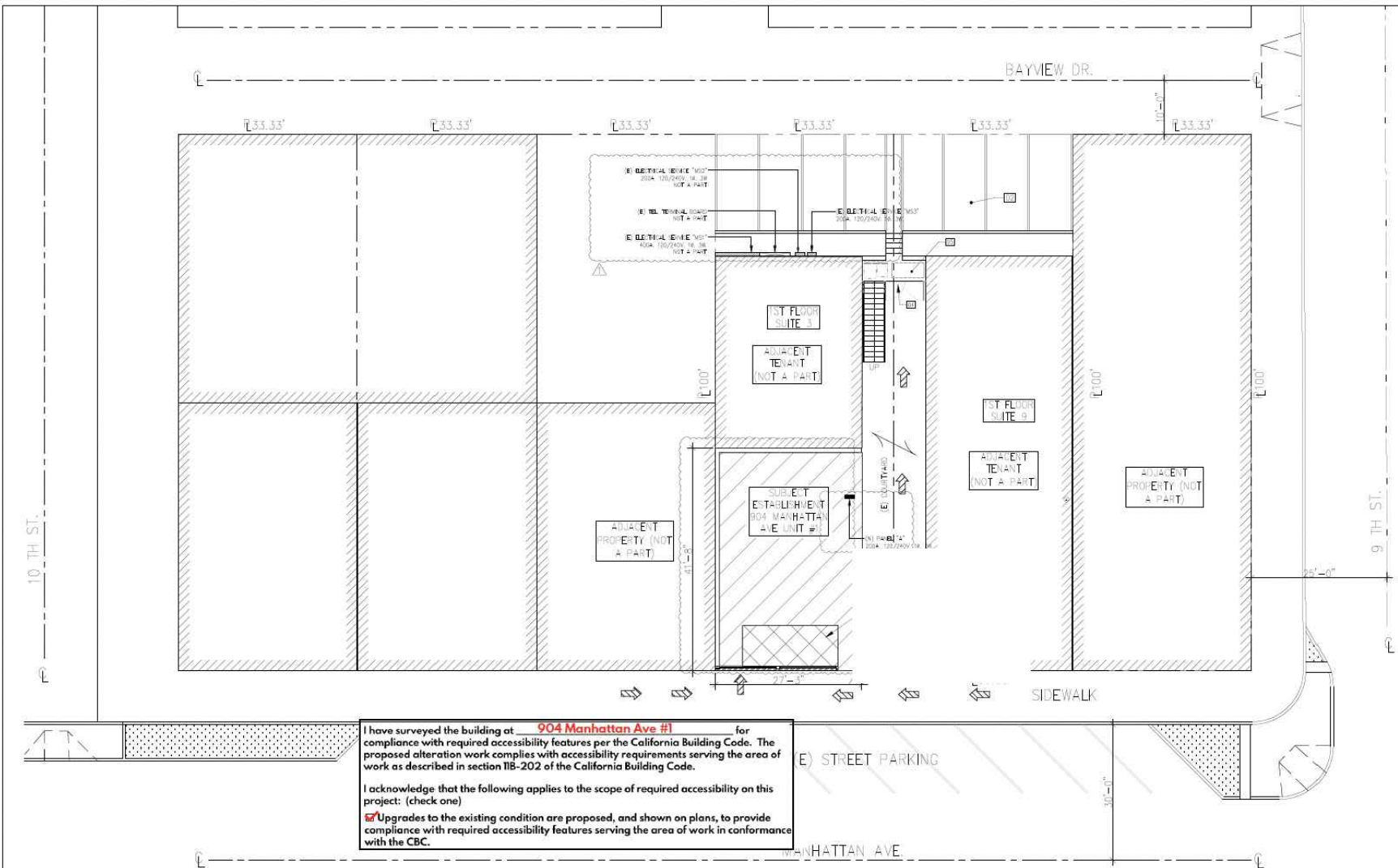
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1	04-28-25	RESUBMITTAL	DM
0	12-12-24	FIRST SUBMITTAL	SG

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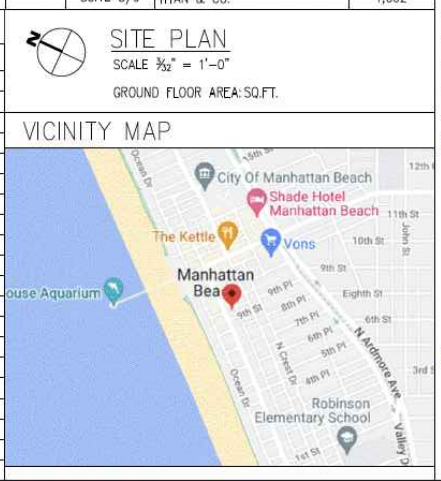
PROJECT LOCATION	
CAFFE LUXXE 904 MANHATTAN AVE #1 MANHATTAN BEACH CA 90266	SHEET G0.01
COVER SHEET	

COVER SHEET PERMIT # BLDC-23-00330
FOR REFERENCE ONLY

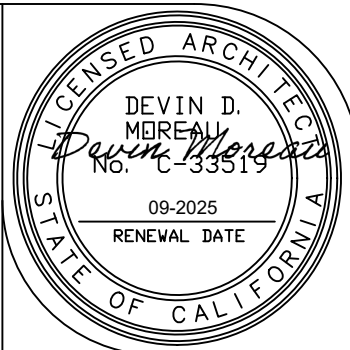


TENANT INDEX			
FLOOR	UNIT #	OCCUPANT	SQ. FT.
1ST	SUITE 1	CAFFE LUXXE	1,030
	SUITE 9	PAGES BOOKSTORE	1,950
	SUITE 3	THE HOBIN COMPANY	921
	SUITE 1/2	THERESA FATINO DESIGN INC.	760
2ND	SUITE 3/4/5	THOMAS CATER LAW OFFICES	1,026
	SUITE 6	STORAGE ROOM	154
	SUITE 7	DISTINGUISHED SPEAKERS	504
	SUITE 8/9	TITAN & CO.	1,062

WORK DESCRIPTION		LEGAL INFORMATION AND ZONING		PLUMBING FIXTURE CALC		SHEET INDEX	
CHANGE OF USE FROM RETAIL TO COFFEE SHOP FOR FOOD AND BEVERAGE SALES WITH NO ON SITE CONSUMPTION. NEW 61 S.F. TRASH ENCLOSURE ADDITION.		ADDRESS : 904 MANHATTAN AVE MANHATTAN BEACH CA 90266 ASSESSOR'S ID NO : 4179-016-019 PROPERTY TYPE : COMMERCIAL REGION / CLUSTER : 26 / 26681 MANHATTAN BEACH LOTS : LOT 4 AND LOT 5, BLOCK 69 CD, AD III : DOWNTOWN COMMERCIAL		PER TABLE 422.1 OF 2022 CPC		SHEET NO. SHEET NAME	
NOTE: SEATING IN EXISTING COURTYARD AND PROPOSED FRONT COVERED LANDSCAPE AREA IS NOT ALLOWED PER MBMC 10.08.050(M)(1)				LOCATION SF RATIO TOTAL		A-0.0 COVER & SITE PLAN	
				CUSTOMER AREA 466 1:30 15.5333		A-0.1 GENERAL NOTES AND ABBREVIATION	
				CUSTOMER AREA 154 1:30 5.1333		A-0.2 ADA NOTES	
				SERVICE AREA 152 1:200 0.7600		A-0.3 ADA NOTES	
				PREP, WASH & STORAGE AREAS 136 1:200 0.6800		A-0.4 ADA DIAGRAMS	
				TOTAL: 21.4287		A-0.5 ADA DIAGRAMS	
				TOTAL PER SEX: 10.7133		A-1.0 EXISTING PLAN	
						A-2.0 PROPOSED PARTITION PLAN	
						A-2.1 PROPOSED EQUIPMENT, FURNITURE PLAN AND OCC LOAD	
						A-2.2 PROPOSED OVERALL GROUND FLOOR PLAN	
						A-3.0 REFLECTED CEILING PLAN	
						A-4.0 DETAILS	
						A-4.1 EXTERIOR ELEVATIONS	
						A-5.0 EXTERIOR ELEVATIONS	
						S-0 STRUCTURAL NOTES	
						S-1 FOUNDATION AND 2ND FLOOR FRAMING PLAN	
						S-2 ROOF FRAMING PLAN	
						SD-1 STRUCTURAL DETAILS	
						SN-1 STRUCTURAL NOTES	
						SN-2 STRUCTURAL NOTES	



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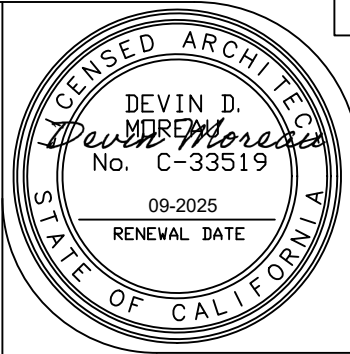
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CAFFE LUXXE 904 MANHATTAN AVE #1 MANHATTAN BEACH CA 90266	SHEET G0.02
COVER SHEET	

CAFFE LUXXE 904 MANHATTAN AVE #1 MANHATTAN BEACH CA 90266	SHEET G1.00
OCCUPANT LOAD / EGRESS PLAN	



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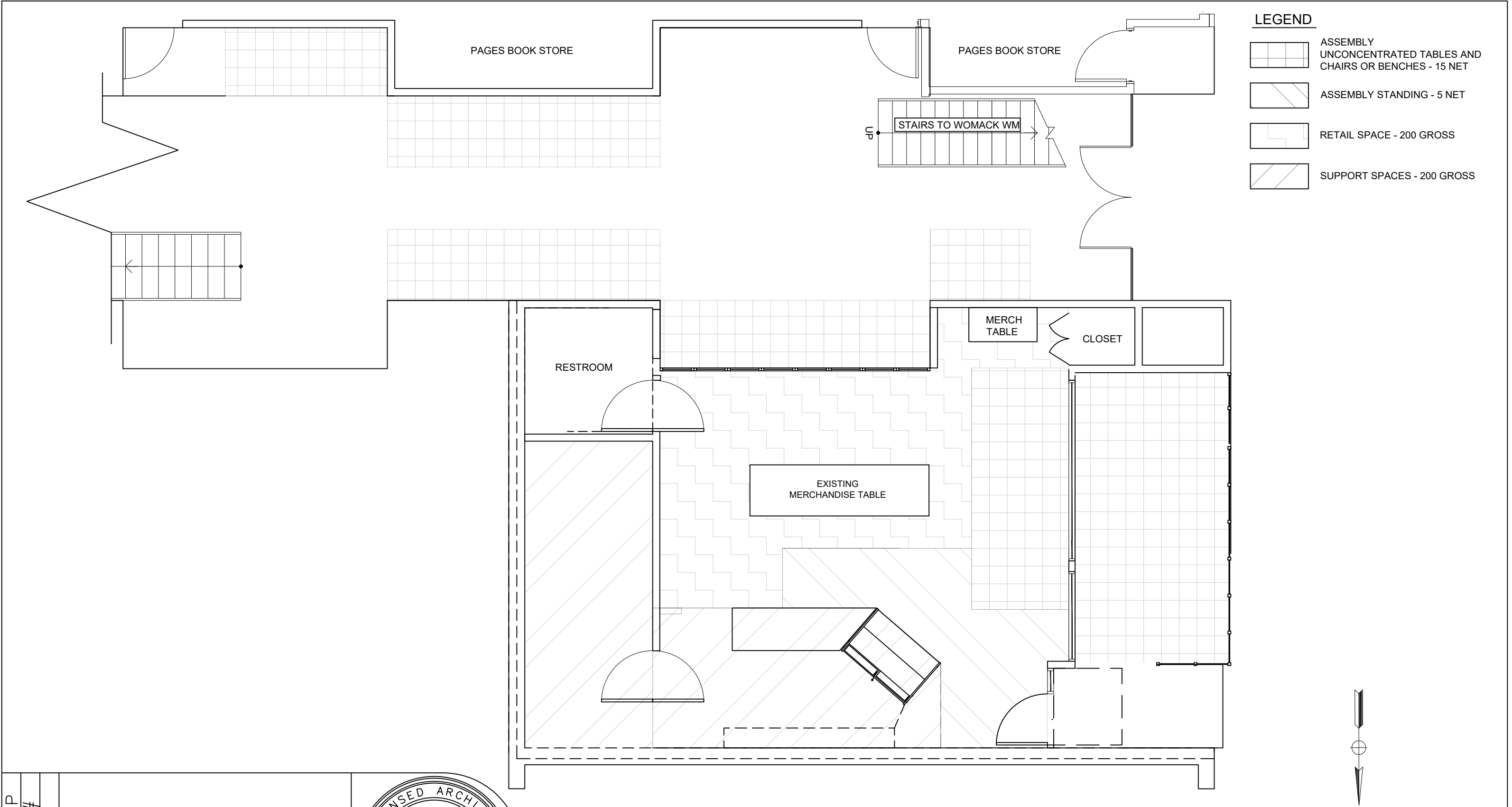
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CAFFE LUXXE
904 MANHATTAN AVE #1
MANHATTAN BEACH CA 90266

OCCUPANCY DIAGRAM

SHEET
G1.00B



OCCUPANCY DIAGRAM
SCALE 3/16" = 1.0'

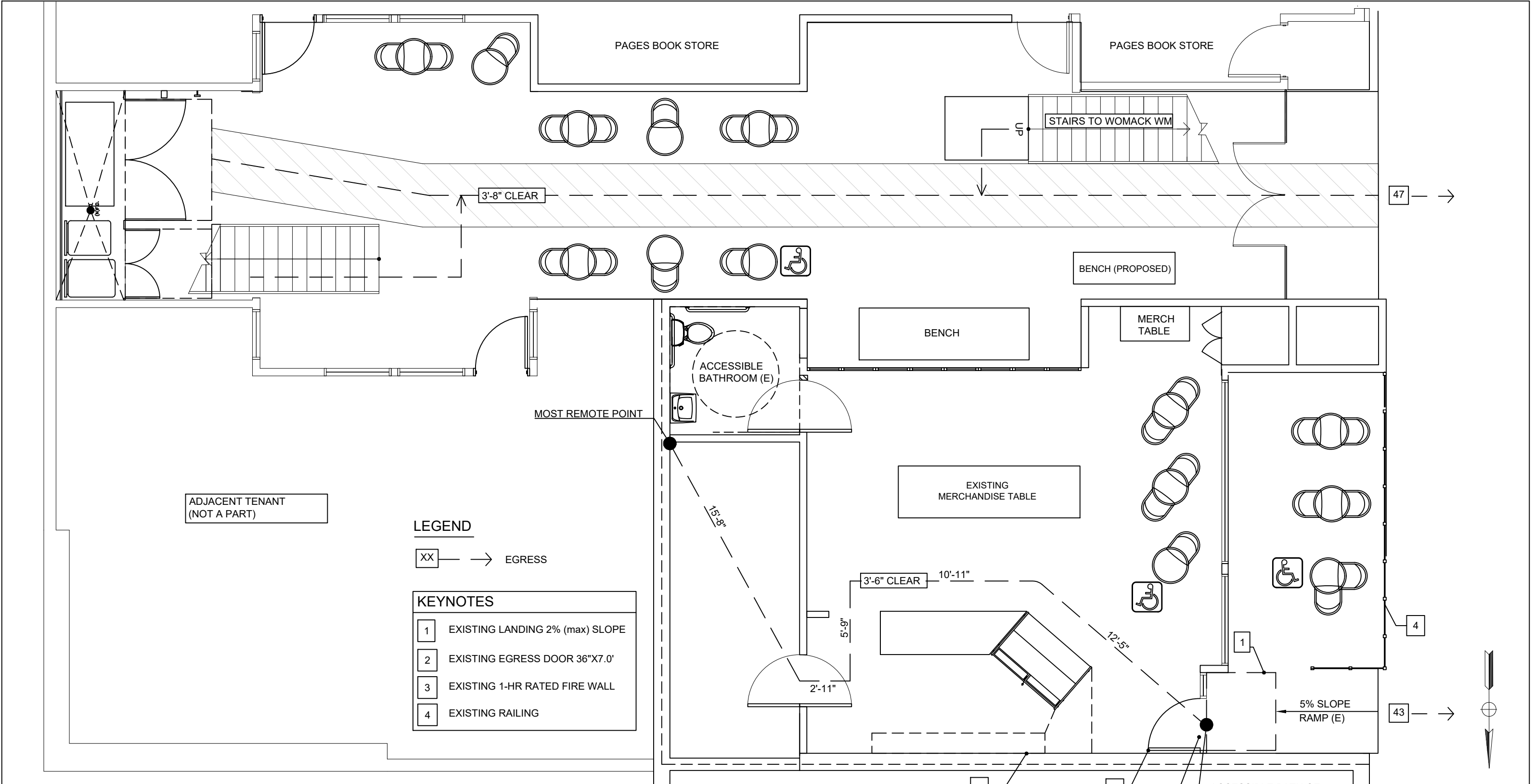


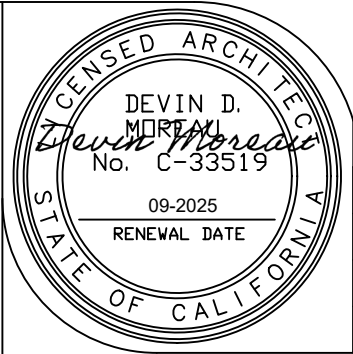
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CAFFE LUXXE 904 MANHATTAN AVE #1 MANHATTAN BEACH CA 90266 PROPOSED EGRESS & ACCESSIBLE ROUTE	SHEET G1.01
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GENERAL NOTES

- 1. OCCUPANT LOAD CALCULATIONS ARE PROVIDED PER CBC TABLE 1004.5.
- 2. PLUMBING LOAD CALCULATIONS ARE PROVIDED PER CPC TABLE 4-1 AND CBC 1004.8.
- 3. OCCUPANCY GROUP PER CBC SECTION 303.1.1.
- 4. EGRESS CALCULATION AT THE ADA RAMP IS BASED ON CAFE PATIO PATRONS, INDOOR PATRONS AND EMPLOYEES.
- 5. EGRESS CALCULATION AT THE MAIN GATE IS BASED ON TENANTS UPSTAIRS AND CAFE COURTYARD PATRONS.
- 6. ALL WORK DONE IN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE BY A LICENSED CONTRACTOR. A SEPARATE WORK PERMIT IS REQUIRED FOR WORK IN THE PUBLIC RIGHT-OF-WAY.
- 7. PLAN HOLDER MUST HAVE THE PLANS RECHECKED AND STAMPED FOR APPROVAL BY THE PUBLIC WORKS DEPARTMENT BEFORE THE BUILDING PERMIT IS ISSUED.
- 8. REMOVAL OF DIRT DEBRIS, OR OTHER CONSTRUCTION MATERIAL DEPOSITED ON ANY PUBLIC STREET SHALL BE REMOVED NO LATER THAN THE END OF THE DAY.

APPROVAL STAMP

CITY PROJECT #

PE-25-00201

DEVIN D. MOREAU

09-2025

RENEWAL DATE

STATE OF CALIFORNIA

2	06-06-25	RESUBMITTAL	DM
1	04-28-25	RESUBMITTAL	DM
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CAFFE LUXXE

904 MANHATTAN AVE #1

MANHATTAN BEACH CA 90266

GENERAL NOTES

SHEET

G2.00

ADA NOTES

THE STATE OF CALIFORNIA DELEGATES TO THE LOCAL JURISDICTION THE AUTHORITY TO ENSURE COMPLIANCE WITH TITLE 24, PART 2 OF THE CALIFORNIA CODE OF REGULATIONS. THIS CORRECTION LIST INDICATES SPECIFIC AREAS OF TITLE 24, PART 2 WHICH ARE APPLICABLE TO YOUR PROJECT. PLEASE BE AWARE THAT THE OWNERS OF THIS BUILDING AND HIS/HER CONSULTANTS ARE RESPONSIBLE FOR COMPLIANCE WITH THE MOST CURRENT FEDERAL REGULATIONS CONTAINED IN THE AMERICANS WITH DISABILITY ACT (ADA) AND FAIR HOUSING ACT (FHA). WHERE THE ADA AND FHA REQUIREMENTS EXCESS THOSE CONTAINED IN TITLE 24, PART 2, IT IS THE OWNERS RESPONSIBILITY AND CONSULTANTS TO ENSURE COMPLIANCE WITH THE MOST CURRENT ADA & FHA REGULATIONS AS THE COUNTY / CITY IS NOT DELEGATED THE AUTHORITY TO PLAN REVIEW OR INSPECT PROJECTS FOR ADA & FHA COMPLIANCE.

- 1. Provide a continuous, unobstructed accessible route from site arrival points to all public spaces within the facility. Minimum clear width: 36". Changes in level >1/4" to be beveled or ramped per ADA Sec. 206 & 402.
- 2. All public entrances shall provide a minimum 32" clear opening with accessible hardware (operable with one hand, no tight grasping, pinching, or twisting). Door thresholds shall not exceed 1/2" height (Sec. 404).
- 3. A minimum of 5% of all seating (not fewer than 1) shall be accessible and distributed throughout dining areas. Provide 30"x48" clear floor space and knee clearance per ADA Sec. 226 & 902.
- 4. Accessible routes shall have stable, firm, and slip-resistant surfaces throughout (Sec. 302).
- 5. Where required (lavatories, dining tables, etc.), provide knee clearance of 27" high, 30" wide, and 19" deep min; toe clearance of 9" high min (Sec. 306).

APPROVAL STAMP

CITY PROJECT #

PE-25-00201

DEVIN D. MOREAU

No. C-33519

09-2025

RENEWAL DATE

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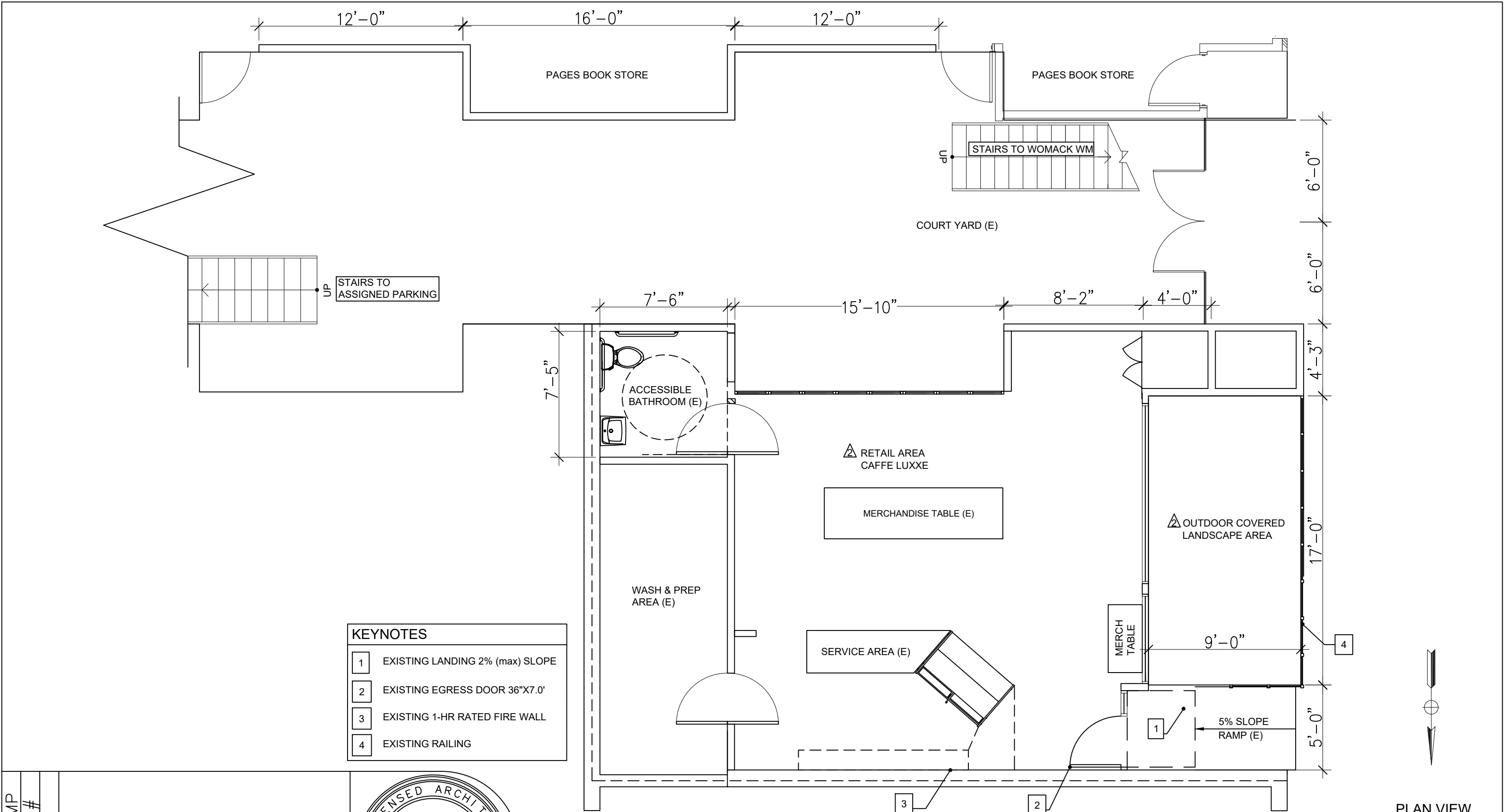
904 MANHATTAN AVE #1

MANHATTAN BEACH CA 90266

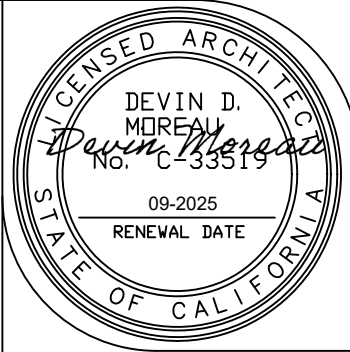
GENERAL ADA NOTES

SHEET

G2.01



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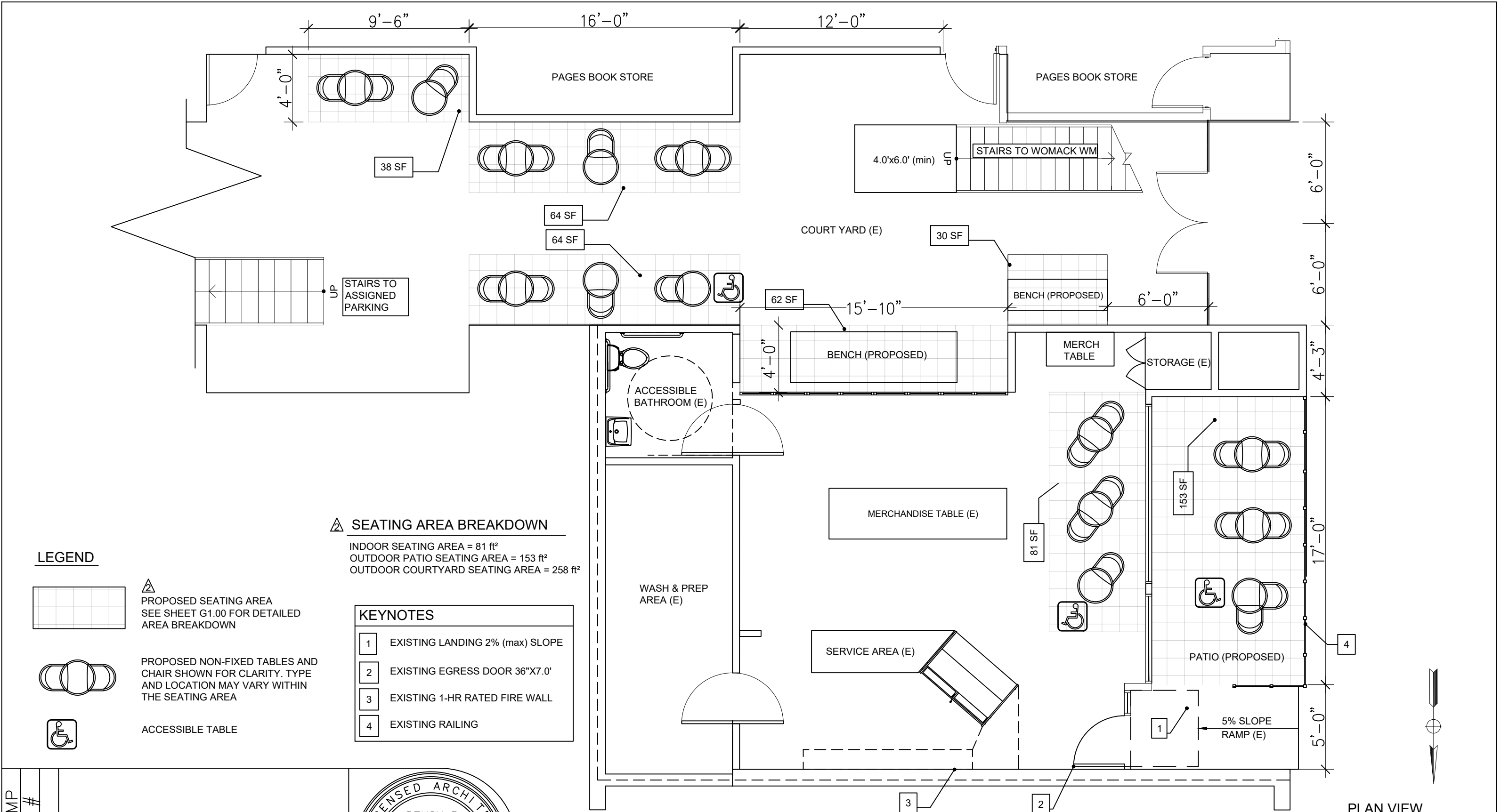
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CAFFE LUXXE 904 MANHATTAN AVE #1 MANHATTAN BEACH CA 90266 EXISTING FLOOR PLAN	SHEET A1.00
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PLAN VIEW
SCALE 3/16" = 1.0'



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CAFFE LUXXE 904 MANHATTAN AVE #1 MANHATTAN BEACH CA 90266 PROPOSED FLOOR PLAN	SHEET A1.10
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