

SCOPE OF WORK

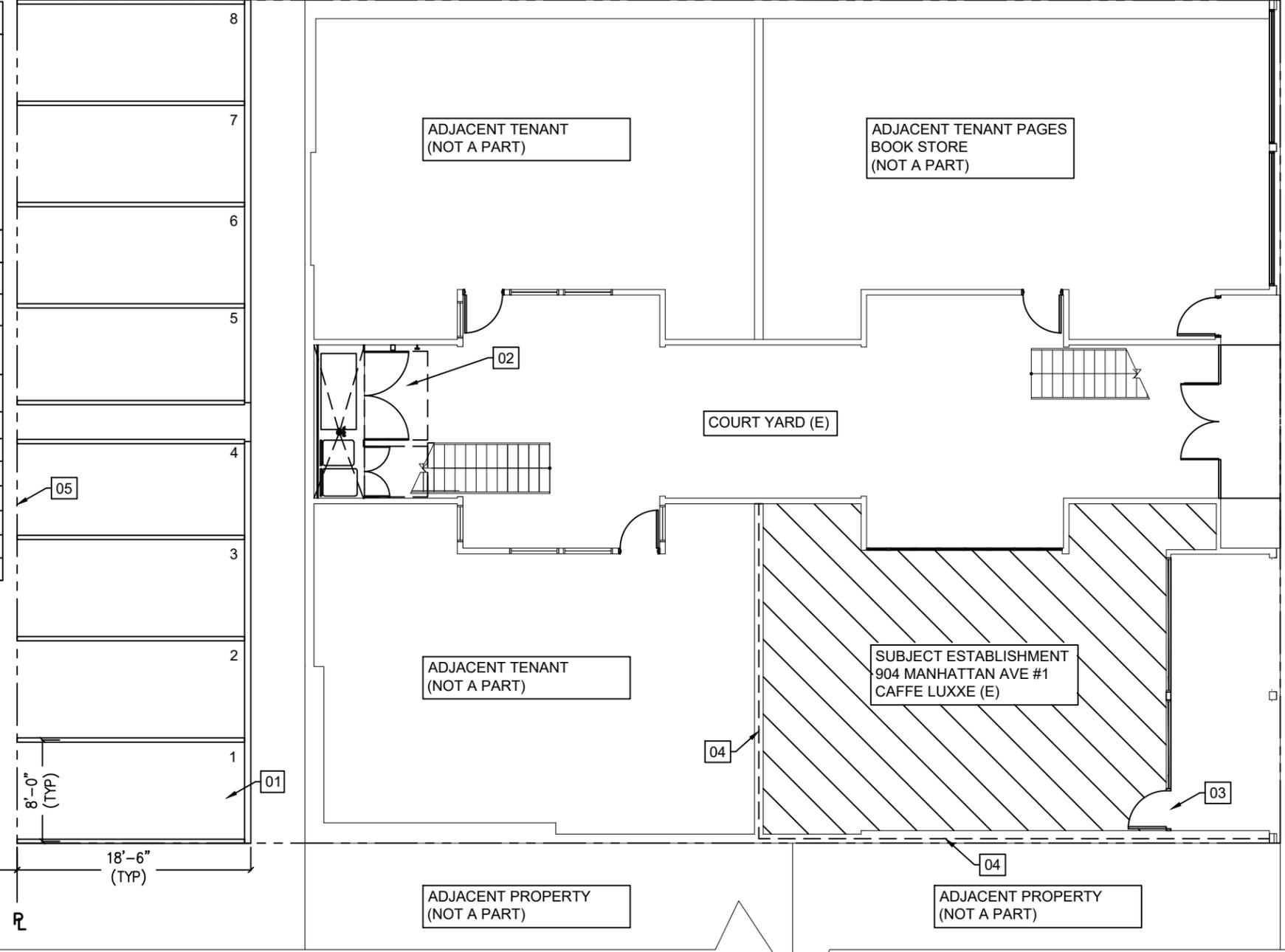
CHANGE OF USE FROM FOOD AND BEVERAGE SALES (B OCCUPANCY) TO EATING AND DRINKING ESTABLISHMENT WITH OCC < 50 (B OCCUPANCY).

NO PHYSICAL CHANGES TO THE SPACE. NON-FIXED UNCONCENTRATED TABLES AND CHAIRS TO BE ADDED FOR INDOOR SEATING AND OUTDOOR SEATING AT THE INTERIOR COURTYARD (E) AND STOREFRONT PATIO (E).

NOTE: CAFE CURRENTLY OPERATING UNDER PERMIT # BLDG-23-00330 ISSUED ON 09/18/23

SHEET INDEX

SHEET NO.	SHEET NAME
G0.01	COVER SHEET & SITE PLAN
G0.02	COVER SHEET PERMIT # BLDG-23-00330 (FOR REFERENCE ONLY)
G1.00	EGRESS PLAN / OCCUPANT LOAD PLAN. PLUMBING CALCULATION
G1.00B	OCCUPANCY DIAGRAM
G1.01	PROPOSED EGRESS & ACCESSIBLE ROUTE
G1.02	1:1 FAR PARKING
G2.00	GENERAL NOTES
G2.01	GENERAL ADA NOTES
A1.00	EXISTING FLOOR PLAN
A1.10	PROPOSED FLOOR PLAN



BUILDING CODES USED

- 2022 CALIFORNIA BUILDING CODE (CBC)
- 2022 CALIFORNIA ELECTRICAL CODE (CEC)
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- 2022 CALIFORNIA PLUMBING CODE (CPC)
- 2022 CALIFORNIA ENERGY CODE (CEC)
- MANHATTAN BEACH MUNICIPAL CODE (MBMC)

KEYNOTES

- 01 REAR PARKING (TYP) (PARKING / ALLEY IS AT HIGHER LEVEL THAN THE GROUND FLOOR) ON BAYVIEW DR (E).
- 02 COVERED TRASH ENCLOSURE ON GROUND FLOOR (E)
- 03 MAIN ENTRANCE (E). 1/2" THRESHOLD MAX. WITH ALL REQUIRED ACCESSIBLE DOOR CLEARANCES PER CH 11B OF 2022 CBC
- 04 1-HOUR RATED WALL (E)
- 05 PROPERTY LINE

LEGAL DESCRIPTION

ADDRESS: 904 MANHATTAN AVE #1
MANHATTAN BEACH CA 90266

ASSESSORS ID NO: 4179-016-019

PROPERTY TYPE: COMMERCIAL

REGION / CLUSTER: 26 / 26681

MANHATTAN BEACH LOTS: LOT 4 AND LOT 5, BLOCK 69

CD, AD, III: DOWNTOWN COMMERCIAL

PROJECT INFORMATION

OCCUPANCY TYPE: B
CONSTRUCTION: V-B
STORY: 2 STORY
PARKING REQUIRED: (3 STALLS)

PARKING PROVIDED: (8 STALLS) (NO CHANGE)

FOOTAGE: 781 SQ. FT. (NO CHANGE)

TOTAL OCCUPANT LOAD: 48

HOURS OF OPERATION: 7AM - 9PM

NUMBER OF EMPLOYEES: 4 EMPLOYEES / SHIFT

FIRE SPRINKLERED: NO

BAYVIEW DR

SIDEWALK

MANHATTAN AVE



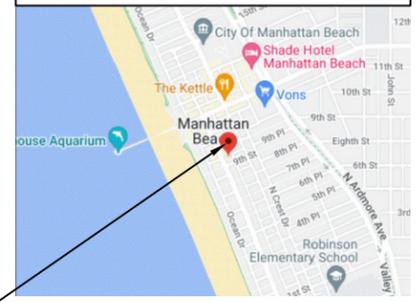
SITE PLAN
SCALE 3/32" = 1.0'

I have surveyed the building at 904 Manhattan Ave #1 for compliance with required accessibility per the California Building Code. The proposed alteration work complies with accessibility requirements serving the area of work as described in section 11B-202 of the California Building Code.

I acknowledge that the following applies to the scope of required accessibility on this project: (check one)

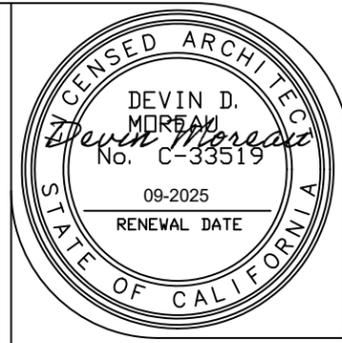
The building is in fully compliant with all applicable accessibility standards under the Americans with Disabilities Act (ADA) and California Building Code Chapter 11B.

VICINITY MAP



PROJECT LOCATION

APPROVAL STAMP
CITY PROJECT #
PE-25-00201



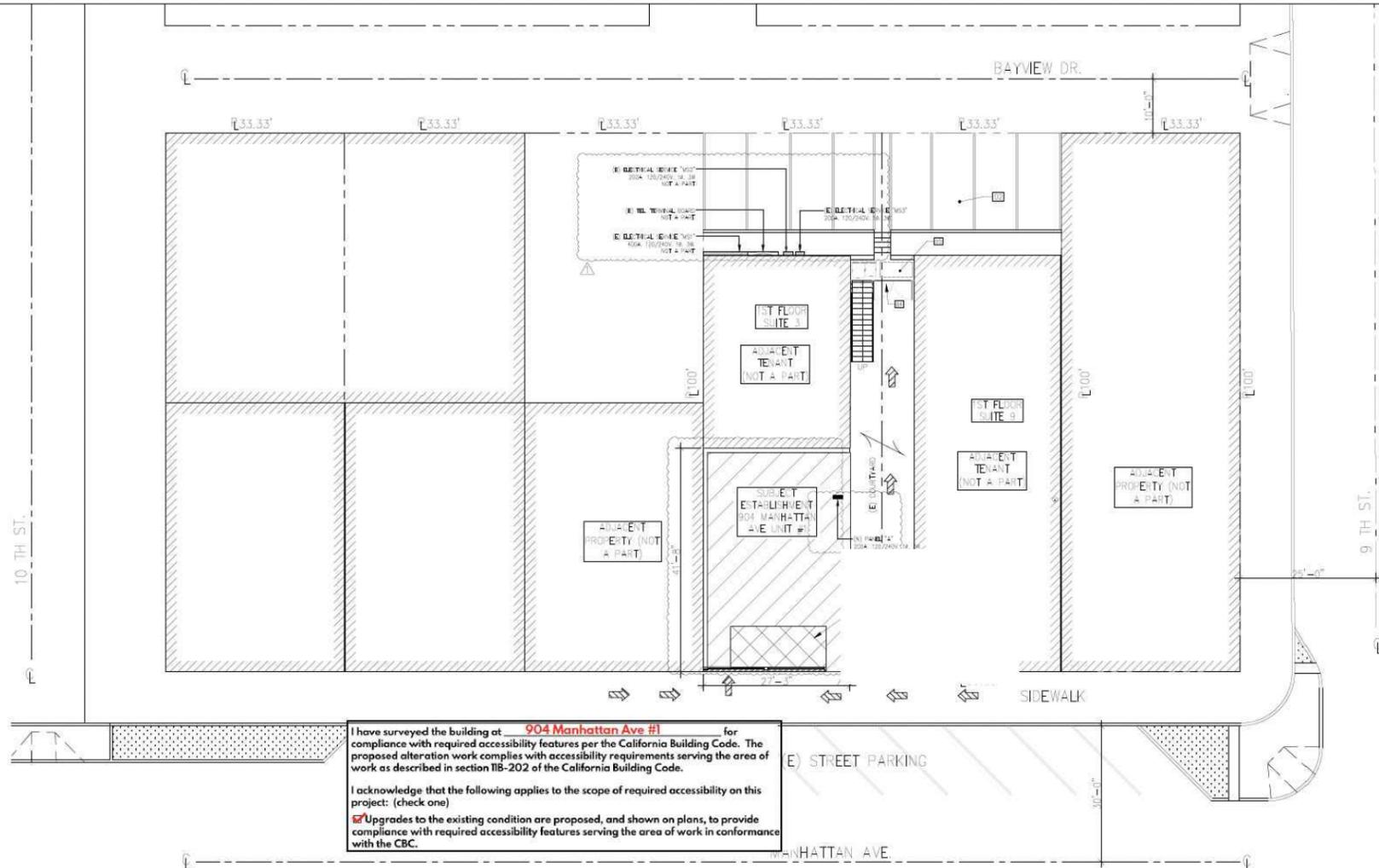
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DESIGN & EXPEDITING
ACCELERATE MB
SETAREH GHAJAR P.E.
SETAREH@ACCELERATEMB.COM
CONSULTANT
DEVIN MOREAU AIA
DEVINM@MOREAUARCHITECTS.COM
CLIENT
MARK WAIN
310-525-4234



CAFFE LUXXE 904 MANHATTAN AVE #1 MANHATTAN BEACH CA 90266		SHEET G0.01
COVER SHEET		

COVER SHEET PERMIT # BLDG-23-00330
FOR REFERENCE ONLY



I have surveyed the building at **904 Manhattan Ave #1** for compliance with required accessibility features per the California Building Code. The proposed alteration work complies with accessibility requirements serving the area of work as described in section 11B-202 of the California Building Code.

I acknowledge that the following applies to the scope of required accessibility on this project: (check one)

Upgrades to the existing condition are proposed, and shown on plans, to provide compliance with required accessibility features serving the area of work in conformance with the CBC.

FLOOR	UNIT #	OCCUPANT	SQ. FT.
1ST	SUITE 1	CAFFE LUXXE	1,030
	SUITE 9	PAGES BOOKSTORE	1,950
	SUITE 3	THE HOBIN COMPANY	921
2ND	SUITE 1/2	THERESA FATINO DESIGN INC.	760
	SUITE 3/4/5	THOMAS CATER LAW OFFICES	1,026
	SUITE 6	STORAGE ROOM	154
	SUITE 7	DISTINGUISHED SPEAKERS	504
	SUITE 8/9	TITAN & CO.	1,062

WORK DESCRIPTION

CHANGE OF USE FROM RETAIL TO COFFEE SHOP FOR FOOD AND BEVERAGE SALES WITH NO ON SITE CONSUMPTION. NEW 61 S.F. TRASH ENCLOSURE ADDITION.

NOTE: SEATING IN EXISTING COURTYARD AND PROPOSED FRONT COVERED LANDSCAPE AREA IS NOT ALLOWED PER MBMC 10.08.050(M)(1)

LEGAL INFORMATION AND ZONING

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MANHATTAN BEACH CA 90266

ASSESSOR'S ID NO : 4179-016-019

PROPERTY TYPE : COMMERCIAL

REGION / CLUSTER : 26 / 26681

MANHATTAN BEACH LOTS CD, AD III : LOT 4 AND LOT 5, BLOCK 69 : DOWNTOWN COMMERCIAL

PLUMBING FIXTURE CALC

PER TABLE 422.1 OF 2022 CPC

LOCATION	SF	RATIO	TOTAL
CUSTOMER AREA	466	1:30	15.5333
CUSTOMER AREA	154	1:30	5.1333
SERVICE AREA	152	1:200	0.7600
PREP, WASH & STORAGE AREAS	136	1:200	0.6800
TOTAL:			21.4267
TOTAL PER SEX:			10.7133

SHEET INDEX

SHEET NO.	SHEET NAME
A-0.0	COVER & SITE PLAN
A-0.1	GENERAL NOTES AND ABBREVIATION
A-0.2	ADA NOTES
A-0.3	ADA NOTES
A-0.4	ADA DIAGRAMS
A-0.5	ADA DIAGRAMS
A-1.0	EXISTING PLAN
A-2.0	PROPOSED PARTITION PLAN
A-2.1	PROPOSED EQUIPMENT, FURNITURE PLAN AND OCC LOAD
A-2.2	PROPOSED OVERALL GROUND FLOOR PLAN
A-3.0	REFLECTED CEILING PLAN
A-4.0	DETAILS
A-4.1	EXTERIOR ELEVATIONS
A-5.0	EXTERIOR ELEVATIONS
S-0	STRUCTURAL NOTES
S-1	FOUNDATION AND 2ND FLOOR FRAMING PLAN
S-2	ROOF FRAMING PLAN
SD-1	STRUCTURAL DETAILS
SN-1	STRUCTURAL NOTES
SN-2	STRUCTURAL NOTES

SITE PLAN

SCALE 3/32" = 1'-0"

GROUND FLOOR AREA: SQ.FT.



PROJECT INFORMATION

2022 CALIFORNIA BUILDING CODE (CBC)

2022 CALIFORNIA ELECTRICAL CODE (CEC)

2022 CALIFORNIA MECHANICAL CODE (CMC)

2022 CALIFORNIA PLUMBING CODE (CPC)

2022 CALIFORNIA ENERGY CODE

LOCAL MUNICIPAL AMENDMENTS

OCCUPANCY TYPE : B & U

CONSTRUCTION : V-B

STORY : 2 STORY

PARKING : EXISTING (NO CHANGE)

(E) TOTAL SQUARE FOOTAGE : 954 SQ.FT.

(P) TOTAL SQUARE FOOTAGE : 781 SQ.FT.

TOTAL OCCUPANT LOAD : 29

HOURS OF OPERATION : 7 AM - 6 PM

NUMBER OF EMPLOYEE : 4 EMPLOYEES / SHIFT

FIRE SPRINKLERED : NO

KEYNOTES

COVERED LANDSCAPE AREA

REAR PARKING (PARKING/ALLEY IS AT HIGHER LEVEL THAN THE GROUND FLOOR)

TRASH ENCLOSURE ON GROUND FLOOR

WALKWAY ON 2ND FLOOR LEADING TO PARKING AREA AT REAR OF THE BUILDING ON UPPER LEVEL

*422.2 SEPARATE FACILITIES: SEPARATE TOILET FACILITIES SHALL BE PROVIDED FOR EACH SEX. EXCEPTION: IN BUSINESS AND MERCANTILE OCCUPANCIES WITH A TOTAL OCCUPANT LOAD OF 50 OR LESS INCLUDING CUSTOMERS AND EMPLOYEES, ONE TOILET FACILITY, DESIGNED FOR USE BY NO MORE THAN ONE PERSON AT A TIME, SHALL BE PERMITTED FOR USE BY BOTH SEXES.

GENDER	FIXTURE	REQUIRED	PROVIDED
MALE	WATER CLOSET	1: 1-50	1) AT SUBJECT PROPERTY, ONE UNISEX RESTROOM WITH 1 SINK AND 1 WATER CLOSET PER *CODE EXCEPTION SEE BELOW
MALE	URINALS	1: 1-100	2) COMMUNAL RESTROOM SEE A-1.0 OVERALL PLAN
MALE	LAVATORY	1: 1-75	
FEMALE	WATER CLOSET	1: 1-15	
FEMALE	LAVATORY	1: 1-50	

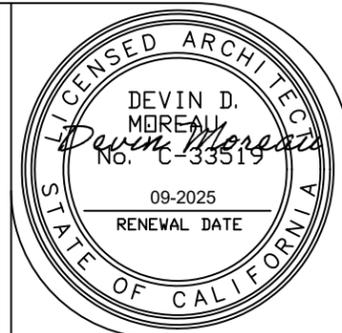
REVISIONS

REV	DATE	REVISIONS	APPRVD
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DESIGN & EXPEDITING
ACCELERATE MB
SETAREH GHAJAR P.E.
SETAREH@ACCELERATEMB.COM
CONSULTANT
DEVIN MOREAU AIA
DEVINM@MOREAUARCHITECTS.COM
CLIENT
MARK WAIN
310-525-4234



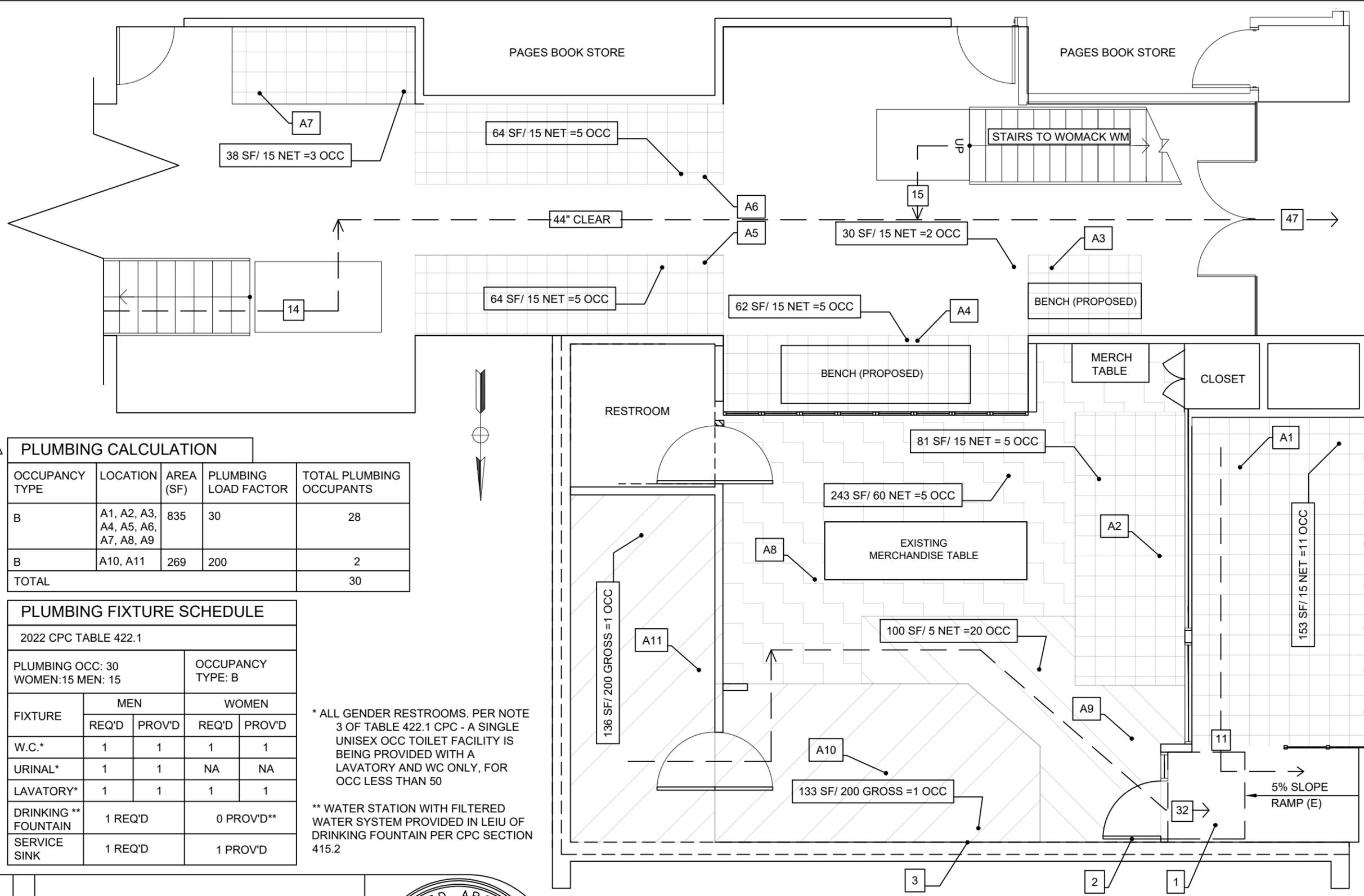
APPROVAL STAMP
CITY PROJECT #
PE-25-00201



CAFFE LUXXE
904 MANHATTAN AVE #1
MANHATTAN BEACH CA 90266

SHEET
G0.02

COVER SHEET



LEGEND

- ASSEMBLY UNCONCENTRATED TABLES AND CHAIRS OR BENCHES - 15 NET
- ASSEMBLY STANDING - 5 NET
- RETAIL SPACE - 200 GROSS
- SUPPORT SPACES - 200 GROSS
- 42" CLR EGRESS CIRCULATION UNLESS SHOWN DIFFERENT

OCCUPANCY LOAD CALCULATION (COURTYARD EGRESS)

LOCATION	AREA (SF)	RATIO	OCC
UPSTAIRS TENANTS	4273	150	29
A3, A4, A5, A6, A7	258	15	18
TOTAL OCCUPANTS			47

OCCUPANCY LOAD CALCULATION (CAFE INTERIOR AND PATIO EGRESS)

LOCATION	AREA (SF)	RATIO	OCC
A1	153	15	11
A2	81	15	5
A8	243	60	5
A9	100	5	20
A10	133	200	1
A11	136	200	1
TOTAL OCCUPANTS			43

- KEYNOTES**
- EXISTING LANDING 2% (max) SLOPE
 - EXISTING EGRESS DOOR 36"x7.0'
 - EXISTING 1-HR RATED FIRE WALL
 - EXISTING RAILING

PLUMBING CALCULATION

OCCUPANCY TYPE	LOCATION	AREA (SF)	PLUMBING LOAD FACTOR	TOTAL PLUMBING OCCUPANTS
B	A1, A2, A3, A4, A5, A6, A7, A8, A9	835	30	28
B	A10, A11	269	200	2
TOTAL				30

PLUMBING FIXTURE SCHEDULE

2022 CPC TABLE 422.1

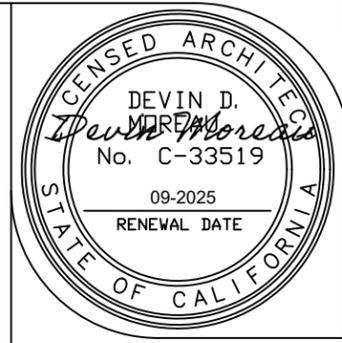
FIXTURE	MEN		WOMEN	
	REQ'D	PROV'D	REQ'D	PROV'D
W.C.*	1	1	1	1
URINAL*	1	1	NA	NA
LAVATORY*	1	1	1	1
DRINKING ** FOUNTAIN	1 REQ'D		0 PROV'D**	
SERVICE SINK	1 REQ'D		1 PROV'D	

* ALL GENDER RESTROOMS. PER NOTE 3 OF TABLE 422.1 CPC - A SINGLE UNISEX OCC TOILET FACILITY IS BEING PROVIDED WITH A LAVATORY AND WC ONLY, FOR OCC LESS THAN 50

** WATER STATION WITH FILTERED WATER SYSTEM PROVIDED IN LEIU OF DRINKING FOUNTAIN PER CPC SECTION 415.2

OCCUPANT LOAD DIAGRAM
SCALE 3/16" = 1.0'

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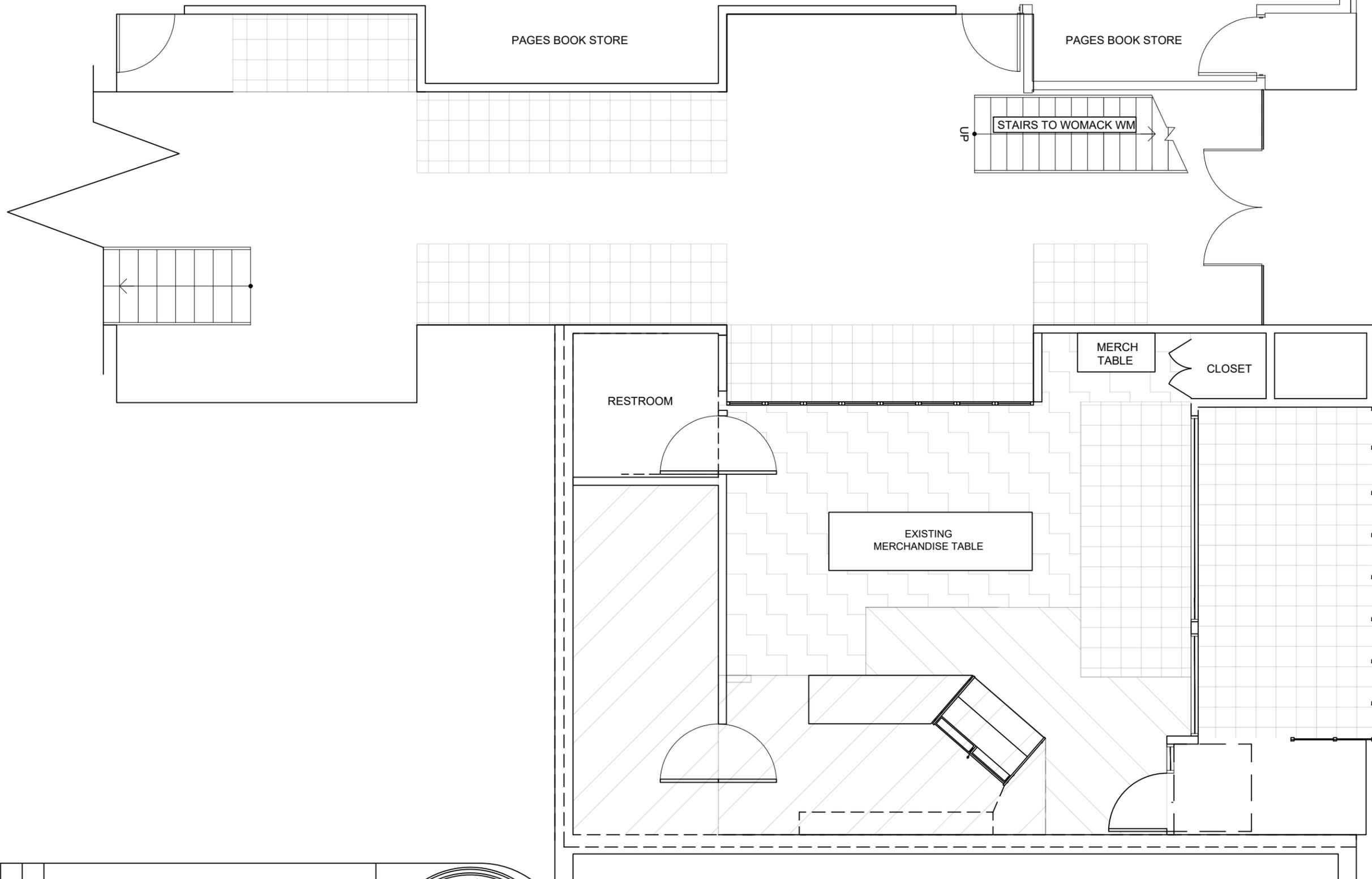
DESIGN & EXPEDITING
ACCELERATE MB
SETAREH GHAJAR P.E.
SETAREH@ACCELERATEMB.COM
CONSULTANT
DEVIN MOREAU AIA
DEVINM@MOREAUARCHITECTS.COM
CLIENT
MARK WAIN
310-525-4234

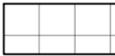


CAFFE LUXXE
904 MANHATTAN AVE #1
MANHATTAN BEACH CA 90266

OCCUPANT LOAD / EGRESS PLAN

SHEET G1.00

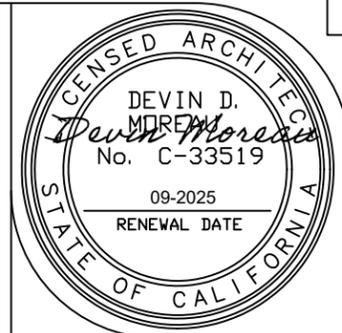


- LEGEND**
-  ASSEMBLY UNCONCENTRATED TABLES AND CHAIRS OR BENCHES - 15 NET
 -  ASSEMBLY STANDING - 5 NET
 -  RETAIL SPACE - 200 GROSS
 -  SUPPORT SPACES - 200 GROSS



OCCUPANCY DIAGRAM
SCALE 3/16" = 1.0'

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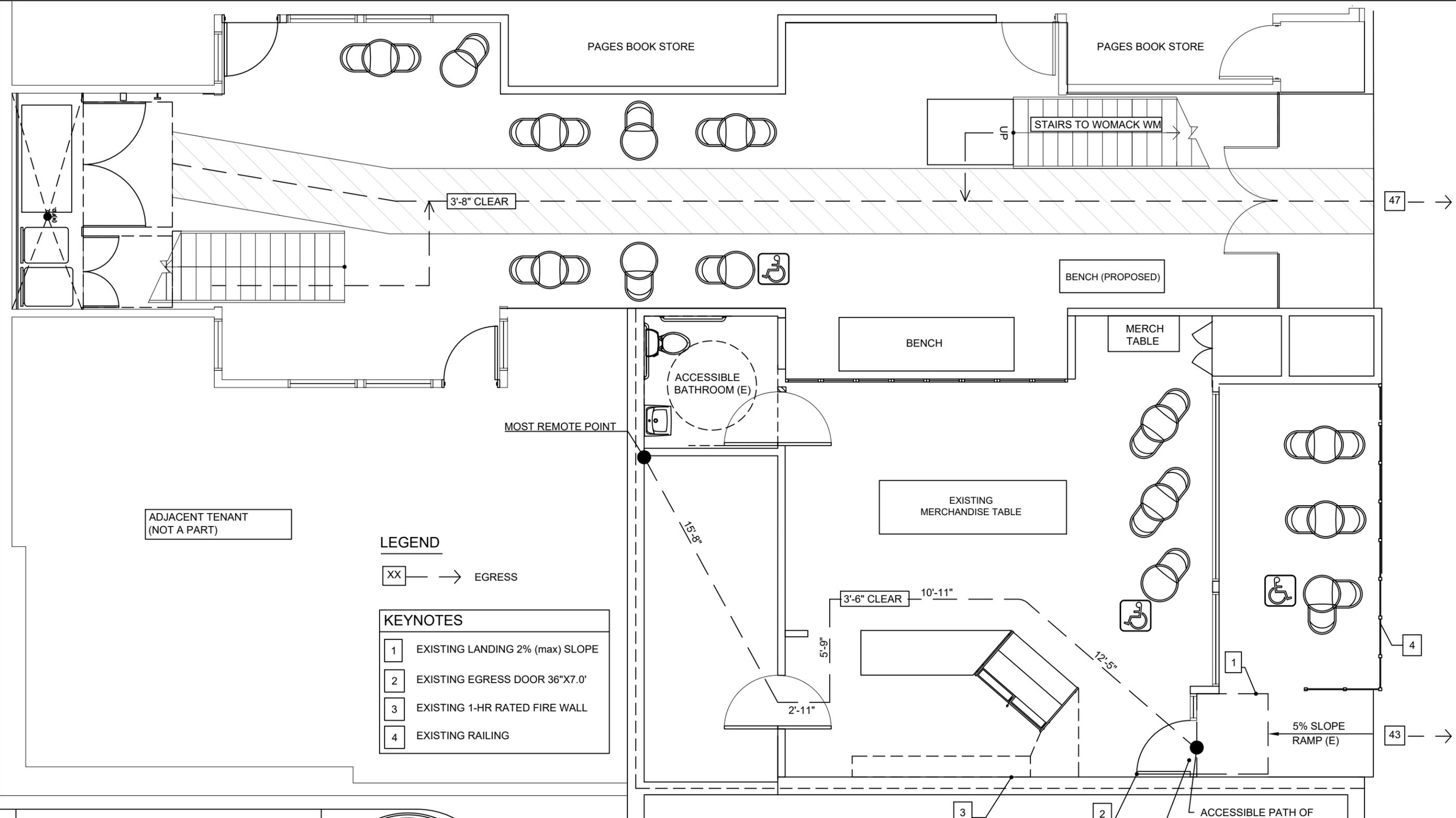


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DESIGN & EXPEDITING
ACCELERATE MB
SETAREH GHAJAR P.E.
SETAREH@ACCELERATEMB.COM
CONSULTANT
DEVIN MOREAU AIA
DEVINM@MOREAUARCHITECTS.COM
CLIENT
MARK WAIN
310-525-4234



CAFFE LUXXE 904 MANHATTAN AVE #1 MANHATTAN BEACH CA 90266		SHEET G1.00B
OCCUPANCY DIAGRAM		



ADJACENT TENANT
(NOT A PART)

LEGEND

XX → EGRESS

KEYNOTES

- 1 EXISTING LANDING 2% (max) SLOPE
- 2 EXISTING EGRESS DOOR 36"x7.0'
- 3 EXISTING 1-HR RATED FIRE WALL
- 4 EXISTING RAILING

MAIN ENTRANCE (E). 1/2" THRESHOLD MAX.
WITH ALL REQUIRED ACCESSIBLE DOOR
CLEARANCES PER CH 11B OF 2022 CBC

ACCESSIBLE PATH OF
TRAVEL DISTANCE = 48'-4"

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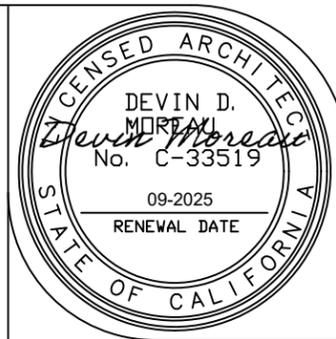
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DESIGN & EXPEDITING
ACCELERATE MB
SETAREH GHAJAR P.E.
SETAREH@ACCELERATEMB.COM
CONSULTANT
DEVIN MOREAU AIA
DEVINM@MOREAUARCHITECTS.COM
CLIENT
MARK WAIN
310-525-4234



CAFFE LUXXE 904 MANHATTAN AVE #1 MANHATTAN BEACH CA 90266		SHEET G1.01
PROPOSED EGRESS & ACCESSIBLE ROUTE		

APPROVAL STAMP
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DESIGN & EXPEDITING
 ACCELERATE MB
 SETAREH GHAJAR P.E.
 SETAREH@ACCELERATEMB.COM
 CONSULTANT
 DEVIN MOREAU AIA
 DEVINM@MOREAUARCHITECTS.COM
 CLIENT
 MARK WAIN
 310-525-4234



CAFFE LUXXE 904 MANHATTAN AVE MANHATTAN BEACH CA 90266	SHEET G1.02
1 TO 1 FAR PARKING CALCULATION	

904 MANHATTAN AVE #1 MANHATTAN BEACH CA 90266						
A- Parking- Calculated before conversion						
Use	Quantity (ft2)	Requirement			Spaces Required	
*Food and Beverage Sales (CAFFE LUXXE)	1030	/ 200	per space	=	5.15	spaces
Office, General (PAGES)	1950	/ 200	per space	=	9.75	spaces
Office, General (THE HOBBIN)	921	/ 300	per space	=	3.07	spaces
Office, General (TF DESIGN)	760	/ 300	per space	=	2.53	spaces
Office, General (TC LAW)	1026	/ 300	per space	=	3.42	spaces
Office, General (DISTINGUISHED SP)	504	/ 300	per space	=	1.68	spaces
Office, General (WOMACK WM)	1062	/ 300	per space	=	3.54	spaces
	7253				Total (A):	29.14 spaces
B- Parking- Calculated after conversion						
Use	QuantityB (ft2)	Requirement			Spaces Required	
**Eating & drinking establishm (CAFFE LUXXE)	492	/ 50	per space	=	9.84	spaces
Office, General (PAGES)	1950	/ 200	per space	=	9.75	spaces
Office, General (THE HOBBIN)	921	/ 300	per space	=	3.07	spaces
Office, General (TF DESIGN)	760	/ 300	per space	=	2.53	spaces
Office, General (TC LAW)	1026	/ 300	per space	=	3.42	spaces
Office, General (DISTINGUISHED SP)	504	/ 300	per space	=	1.68	spaces
Office, General (WOMACK WM)	1062	/ 300	per space	=	3.54	spaces
	6715				Total (B):	33.83 spaces
Type of Exclusion: Downtown 1 to 1 FAR Exemption						
BFA for Scenario A			Excludable Area		Countable Area	% of Total(A)
7253		-	6666	=	587	0.08
BFA for Scenario B			Excludable Area		Countable Area	% of Total(B)
7253		-	6666	=	587	0.08
A			Total(A)		%age(A)	Net Reqt.(A)
			29.14	x	0.08	= 2.00
B			Total(B)		%age(B)	Net Reqt.(B)
			33.83	x	0.08	= 3.00

* COMPLETE AREA OF CAFFE LUXXE USED

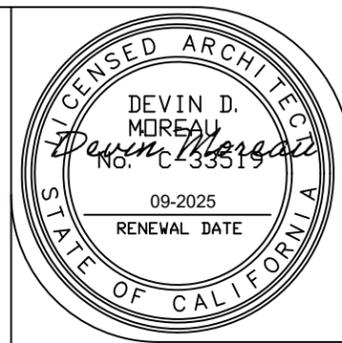
** SEATING AREA OF CAFFE LUXXE USED

2

GENERAL NOTES

1. OCCUPANT LOAD CALCULATIONS ARE PROVIDED PER CBC TABLE 1004.5.
2. PLUMBING LOAD CALCULATIONS ARE PROVIDED PER CPC TABLE 4-1 AND CBC 1004.8.
3. OCCUPANCY GROUP PER CBC SECTION 303.1.1.
4. EGRESS CALCULATION AT THE ADA RAMP IS BASED ON CAFE PATIO PATRONS, INDOOR PATRONS AND EMPLOYEES.
5. EGRESS CALCULATION AT THE MAIN GATE IS BASED ON TENANTS UPSTAIRS AND CAFE COURTYARD PATRONS.
6. ALL WORK DONE IN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE BY A LICENSED CONTRACTOR. A SEPARATE WORK PERMIT IS REQUIRED FOR WORK IN THE PUBLIC RIGHT-OF-WAY.
7. PLAN HOLDER MUST HAVE THE PLANS RECHECKED AND STAMPED FOR APPROVAL BY THE PUBLIC WORKS DEPARTMENT BEFORE THE BUILDING PERMIT IS ISSUED.
8. REMOVAL OF DIRT DEBRIS, OR OTHER CONSTRUCTION MATERIAL DEPOSITED ON ANY PUBLIC STREET SHALL BE REMOVED NO LATER THAN THE END OF THE DAY.

APPROVAL STAMP
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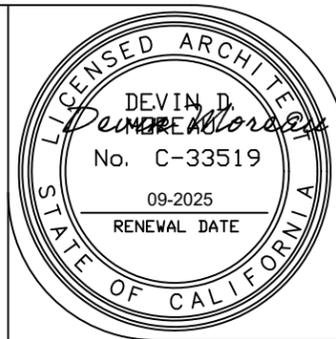
CAFFE LUXXE 904 MANHATTAN AVE #1 MANHATTAN BEACH CA 90266	SHEET G2.00
GENERAL NOTES	

ADA NOTES

THE STATE OF CALIFORNIA DELEGATES TO THE LOCAL JURISDICTION THE AUTHORITY TO ENSURE COMPLIANCE WITH TITLE 24, PART 2 OF THE CALIFORNIA CODE OF REGULATIONS. THIS CORRECTION LIST INDICATES SPECIFIC AREAS OF TITLE 24, PART 2 WHICH ARE APPLICABLE TO YOUR PROJECT. PLEASE BE AWARE THAT THE OWNERS OF THIS BUILDING AND HIS/HER CONSULTANTS ARE RESPONSIBLE FOR COMPLIANCE WITH THE MOST CURRENT FEDERAL REGULATIONS CONTAINED IN THE AMERICANS WITH DISABILITY ACT (ADA) AND FAIR HOUSING ACT (FHA). WHERE THE ADA AND FHA REQUIREMENTS EXCESS THOSE CONTAINED IN TITLE 24, PART 2, IT IS THE OWNERS RESPONSIBILITY AND CONSULTANTS TO ENSURE COMPLIANCE WITH THE MOST CURRENT ADA & FHA REGULATIONS AS THE COUNTY / CITY IS NOT DELEGATED THE AUTHORITY TO PLAN REVIEW OR INSPECT PROJECTS FOR ADA & FHA COMPLIANCE.

1. Provide a continuous, unobstructed accessible route from site arrival points to all public spaces within the facility. Minimum clear width: 36". Changes in level >1/4" to be beveled or ramped per ADA Sec. 206 & 402.
2. All public entrances shall provide a minimum 32" clear opening with accessible hardware (operable with one hand, no tight grasping, pinching, or twisting). Door thresholds shall not exceed 1/2" height (Sec. 404).
3. A minimum of 5% of all seating (not fewer than 1) shall be accessible and distributed throughout dining areas. Provide 30"x48" clear floor space and knee clearance per ADA Sec. 226 & 902.
4. Accessible routes shall have stable, firm, and slip-resistant surfaces throughout (Sec. 302).
5. Where required (lavatories, dining tables, etc.), provide knee clearance of 27" high, 30" wide, and 19" deep min; toe clearance of 9" high min (Sec. 306).

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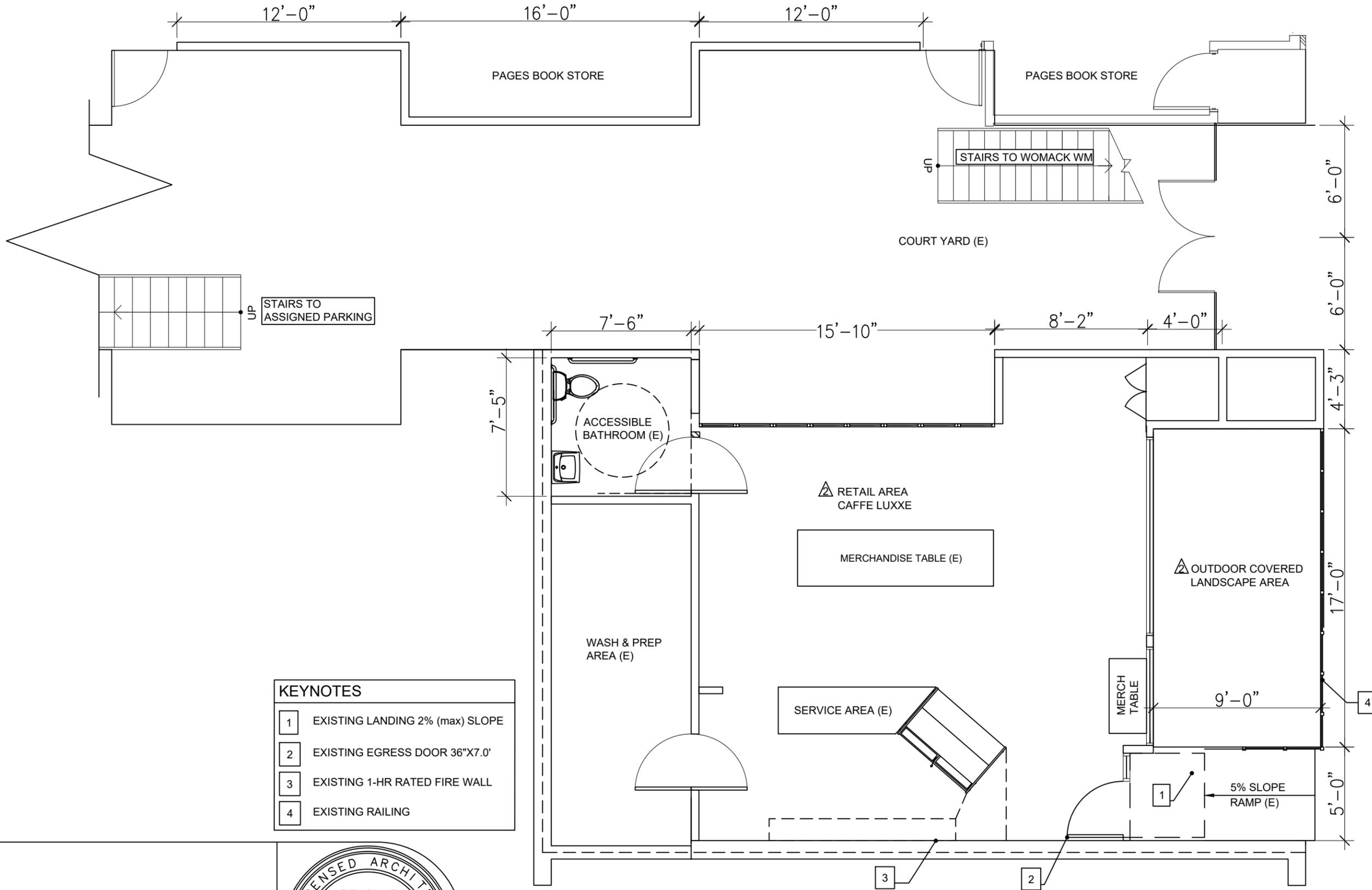


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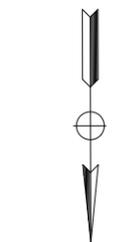
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ACCELERATE MB
SETAREH GHAJAR P.E.
SETAREH@ACCELERATEMB.COM
CONSULTANT
DEVIN MOREAU AIA
DEVINM@MOREAUARCHITECTS.COM
CLIENT
MARK WAIN
310-525-4234



CAFFE LUXXE 904 MANHATTAN AVE #1 MANHATTAN BEACH CA 90266	SHEET G2.01
GENERAL ADA NOTES	

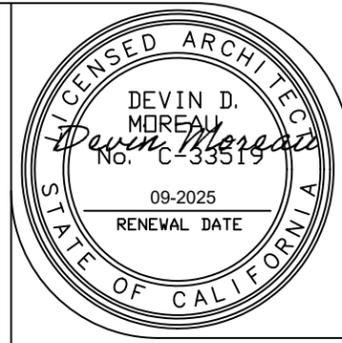


KEYNOTES	
1	EXISTING LANDING 2% (max) SLOPE
2	EXISTING EGRESS DOOR 36"x7.0'
3	EXISTING 1-HR RATED FIRE WALL
4	EXISTING RAILING



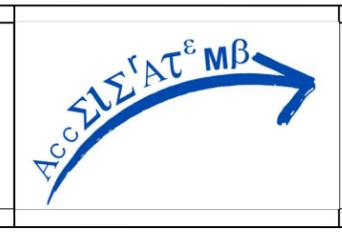
PLAN VIEW
SCALE 3/16" = 1.0'

APPROVAL STAMP
CITY PROJECT #
PE-25-00201

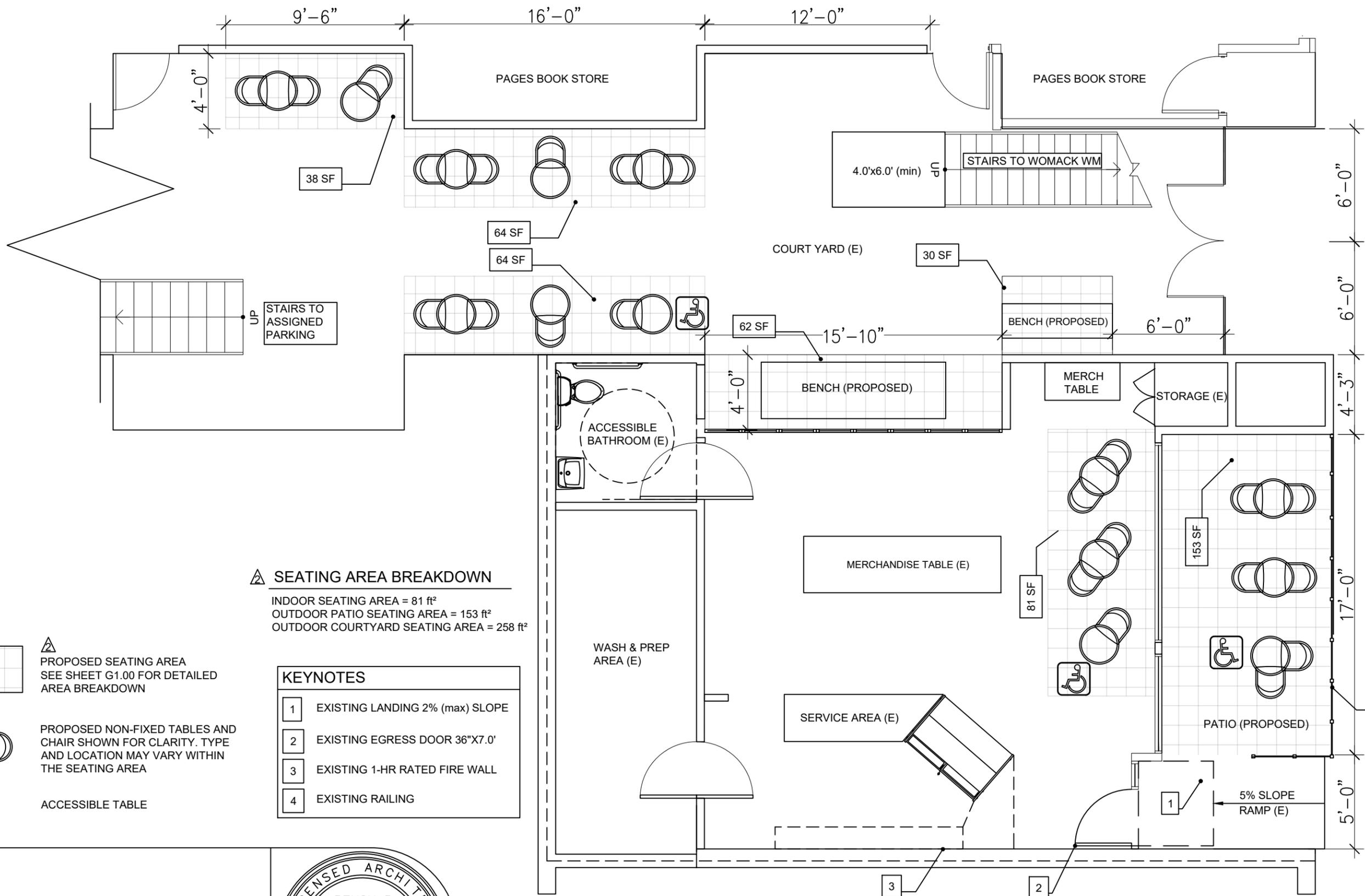


REV	DATE	REVISIONS	APPRVD
2	06-06-25	RESUBMITTAL	DM
1	04-28-25	RESUBMITTAL	DM
0	12-12-24	FIRST SUBMITTAL	DM

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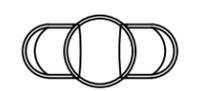


CAFFE LUXXE 904 MANHATTAN AVE #1 MANHATTAN BEACH CA 90266		SHEET A1.00
EXISTING FLOOR PLAN		



SEATING AREA BREAKDOWN
 INDOOR SEATING AREA = 81 ft²
 OUTDOOR PATIO SEATING AREA = 153 ft²
 OUTDOOR COURTYARD SEATING AREA = 258 ft²

LEGEND

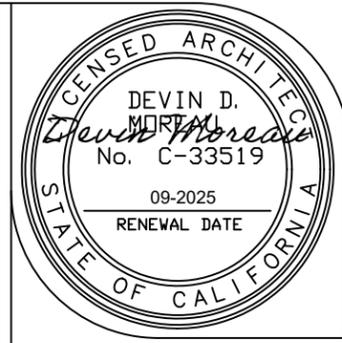
-  PROPOSED SEATING AREA
SEE SHEET G1.00 FOR DETAILED AREA BREAKDOWN
-  PROPOSED NON-FIXED TABLES AND CHAIR SHOWN FOR CLARITY. TYPE AND LOCATION MAY VARY WITHIN THE SEATING AREA
-  ACCESSIBLE TABLE

KEYNOTES

1	EXISTING LANDING 2% (max) SLOPE
2	EXISTING EGRESS DOOR 36"X7.0'
3	EXISTING 1-HR RATED FIRE WALL
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PLAN VIEW
 SCALE 3/16" = 1.0'

APPROVAL STAMP
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 CLIENT
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CAFFE LUXXE 904 MANHATTAN AVE #1 MANHATTAN BEACH CA 90266 PROPOSED FLOOR PLAN		SHEET A1.10
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