

Esperanza

Cocina de la Playa 309 Manhattan Beach Blvd. Manhattan Beach, CA 90266

PLANNING ENTITLEMENT APPROVAL
 DATE: 10/25/2024
 APPROVING BODY: PLANNING COMMISSION
 PROJECT PLANNER: Tari Kuvhenguwa

robinson hill architecture, inc.
 A California Corporation
 3195-B Airport Loop Dr.
 Costa Mesa, CA 92626
 Tel: 714-825-8888
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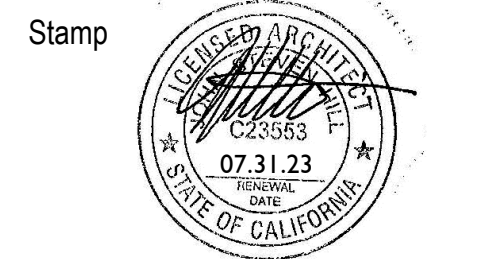
Michael David Robinson: C-20731
 John Steven Hill: C-23553

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Owner

Consultant



Stamp

Submittal Dates

Entitlement Submittal	Date
ENTITLEMENT SUBMITTAL	06.08.23
ENTITLEMENT RE SUB.	04.04.24
ENTITLEMENT RE SUB.	06.17.24
ENTITLEMENT RE SUB.	07.30.24

Rev.	Description	Date
△	P.C. CORRECTIONS	04.04.24
△	P.C. CORRECTIONS	06.17.24
△	P.C. CORRECTIONS	07.30.24

Project Info. Address

ESPERANZA
 309 MANHATTAN BEACH BLVD.
 MANHATTAN BEACH, CA 90266

GOVERNING CODES

CAL. BUILDING CODE 2022 EDITION
 CAL. MECHANICAL CODE 2022 EDITION
 CAL. PLUMBING CODE 2022 EDITION
 CAL. ELECTRIC CODE 2022 EDITION
 CAL. FIRE CODE 2022 EDITION
 CAL. GREEN BUILDING CODE 2022 EDITION
 CAL. ENERGY CODE 2022 EDITION
 TITLE 24 ENERGY STANDARDS 2022
 MANHATTAN BEACH MUNICIPAL CODE

FIXTURE CALCS.

PLUMBING FIXTURE CALCULATIONS

CPC Table 422.1 & Table 4-1

Type	Area	Ratio	Occ.
1ST FL			
A-2	712.00	30	24.00
A-2 FIXED	685 IN	18 LN	50%
KITCHEN & SERVICE	362.00	50	9.00
PATIO FIXED	417 IN	18 LN	50%
PATIO	218.00	30	10.00
2ND FL			
A-2	262.61	30	8.75
BAR	106	50	2.12
OFFICE	61.67	50	1.23
STORAGE	139.59	4000	0.03
PATIO	570.71	30	19.00
TOTAL			105.13

OCCUPANT LOAD CALCULATIONS

FIRST FLOOR	DESCRIP. AREA / NAME	USE	NET SF	LENGTH EACH	OCC. FACTOR	OCC. LOAD
FIRST FLOOR	KITCHEN					
	BEER / COOLER / FREEZ	A-2	75.90	sf	1/200	0.40
	DISHWASHING	A-2	88.00	sf	1/200	0.44
	KITCHEN	A-2	283.00	sf	1/200	1.00
	DINING					
	DINING	LOOSE TABLE & CHAIRS	602.00	sf	1/15	40.00
	BACK OF BAR	A-2	172.00	sf	1/200	1.00
	BAR STANDING	A-2	63.00	sf	1/15	9.00
	BAR STOOL	A-2		11.00	1 each	11.00
	BOOTH SEATING	A-2		57 LF	1/2	29.50
SERVICE	A-2	19.00	sf	1/200	1.00	
FRONT PATIO						
WAITING AREA	STAND.	64.00	sf	1/5	11.00	
DINING	LOOSE TABLE & CHAIRS	86.00	sf	1/15	6.00	
BOOTH SEATING	A-2		35 LF	1/2	18.00	
TOTALS						128
SECOND FLOOR						
DESCRIP. AREA / NAME	USE	NET SF	LENGTH EACH	OCC. FACTOR	OCC. LOAD	
BOH						
LIQUOR STORAGE	A-2	44.18	sf	1/200	0.22	
DRY STORAGE	A-2	95.41	sf	1/200	0.48	
BEER / COOLER / FREEZ	A-2	67.89	sf	1/200	0.34	
MING. OFFICE	B	61.67	sf	1/150	0.41	
INTERIOR DINING						
DINING	LOOSE TABLE & CHAIRS	164.04	sf	1/15	10.93	
BACK OF BAR	A-2	165.32	sf	1/200	0.83	
BAR STOOL	A-2		7.00	1 each	7.00	
SERVICE	A-2	10.43	sf	1/200	0.05	
DECK PATIO						
DINING	LOOSE TABLE & CHAIRS	411.75	sf	1/15	27.45	
SERVICE	A-2	21.50	sf	1/200	0.11	
TOTALS						48

Occupants

53.0	M	2 WC, 1 U & 1 Lav
53.0	F	1:1-50; 1:1-200; 1:1-150
		3 WC & 1 Lav

	Required	Provided	ADA
M-WC	2	0	0
M-U	1	0	0
M-L	1	0	0
W-WC	3	0	0
W-L	1	0	0
U-WC	0	5	2
U-U	0	2	2
U-L	0	3	2

ALLOWABLE AREA DETERMINATION- PER TABLE 506.2

OCC.	TYPE OF CONSTRUCTION	ALLOWABLE AREA	PROVIDED
A-2	S1 TYPE VB	24,000 SF	5,581 SF

PROJECT INFORMATION

LEGAL DESCRIPTION: LOT 3, BLOCK 92, MANHATTAN BEACH DIVISION #2, AT 309 MANHATTAN BEACH BOULEVARD IN THE CITY OF MANHATTAN BEACH

ZONING: AREA DISTRICT III CD- COMMERCIAL DOWNTOWN
 OVERLAY DISTRICTS: NONE
 DESIGN GUIDELINE: NONE
 CONSTRUCTION TYPE: V-B
 STORES: 2.5
 EXISTING OCCUPANCY: A-2 (FIRST FLOOR), R-3 (SECOND FLOOR)
 PROPOSED OCCUPANCY: A-2 (FIRST AND SECOND FLOOR)
 SPRINKLER SYSTEM: 1ST FLR. (SPRINKLED THROUGHOUT W/ NFPA 13 2ND FLR. (SPRINKLED BUT WILL BE UPGRADED TO MEET NFPA13 STANDARDS UNDER DEFERRED SUBMITTAL))

LOT AREA: 2,692 SF
 MAX BUILDABLE FLOOR AREA (1.5 X LOT AREA): 1.5 X 2,692 SF= 4,038 SF

EXISTING BUILDABLE AREA (REFER TO SHEET A000 FOR MORE INFO)
 FIRST FLOOR: 2,077 SF
 SECOND FLOOR: 1,388 SF
 PROPOSED BUILDABLE AREA (REFER TO SHEET A001 FOR MORE INFO)
 FIRST FLOOR: 2,060 SF
 SECOND FLOOR: 1,333 SF

EXISTING GROSS BUILDING AREA SQUARE FOOTAGE
 FIRST FLOOR: 2,077 SF
 SECOND FLOOR: 1,445 SF
 TOTAL: 3,522 SF
 PROPOSED GROSS BUILDING AREA SQUARE FOOTAGE
 FIRST FLOOR: 2,077 SF (NO CHANGE)
 SECOND FLOOR: 1,504 SF
 TOTAL: 3,581 SF

EXISTING NET BUILDING SQUARE FOOTAGE
 FIRST FLOOR: 2,369 SF
 SECOND FLOOR: 1,865 SF
 TOTAL NSF: 4,034 SF

PROPOSED NET BUILDING SQUARE FOOTAGE
 FIRST FLOOR: 441 SF
 KITCHEN: 102 SF
 BAR AREA: 899 SF
 DINING: 57 SF
 RESTROOM: 23 SF
 STORAGE: 157 SF
 HALLWAY: 307 SF
 FRONT PATIO: 1,986 SF
 TOTAL FIRST FLOOR: 1,986 SF

SECOND FLOOR:
 BAR AREA: 156 SF
 DINING: 320 SF
 RESTROOMS: 241 SF
 STORAGE: 139 SF
 HALLWAY: 86 SF
 OFFICE: 62 SF
 OUTSIDE PATIO: 594 SF
 TOTAL SECOND FLOOR: 1,598 SF
 TOTAL PROPOSED NSF: 3,584 SF

SCOPE OF WORK

NOTE: PLANS AND CALCS SHALL COMPLY W/ ALL OF THE REQ. OF THE CBC 2022 EDITION.

EXISTING FIRST FLOOR OCCUPANCY TO REMAIN A-2. EXISTING SECOND FLOOR R-3 TO BE CONVERTED TO A-2.

EXTERIOR SCOPE OF WORK: EXISTING TRASH ENCLOSURE DOORS TO BE REPLACED WITH A ROLL UP SYSTEM. PROPOSING A NEW TRASH ENCLOSURE IN THE VOID WHERE THE SECOND FLOOR STAIRS WERE, AND NEW ROOF OVER THE SECOND FLOOR RESTROOM EXPANSION.

FIRST FLOOR SCOPE WORK: DEMOLITION OF A MEN'S AND WOMEN'S RESTROOM. AREA TO BE REPLACED WITH NEW INTERIOR STAIR CASE TO THE SECOND FLOOR AND A ELEVATOR.

1.5 FLOOR SCOPE WORK: DEMOLITION OF DRY STORAGE. TO ACCOMMODATE STAIR STEP RAISERS.

SECOND FLOOR SCOPE WORK: DEMOLITION OF EXISTING RESTROOM, STORAGE AREA AND EXTERIOR STAIRS. CHANGE OF USE FROM RESIDENTIAL TO COMMERCIAL (RESTAURANT).

DRAWING DIRECTORY

ARCHITECTURAL DRAWINGS

DWG. NUMBER	SHEET TITLE	DATE OF ISSUE	REVISION DATE	REV #
T001	PROJECT INFORMATION & SITE PLAN	05.24.23	07.30.24	3
A000	FIRST & SECOND FLOOR EXISTING BUILDABLE AREA	11.03.23	06.17.24	2
A001	1ST, 1.5 & 2ND FLOOR AREA BUILDABLE FLOOR PLAN	11.03.23	06.17.24	2
A002	FIRST FLOOR DINING AREA	11.03.23	06.17.24	2
A003	SECOND FLOOR DINING AREA	11.03.23	07.30.24	3
A004	PROPOSED EGRESS & ACCESSIBILITY PLAN	11.03.23	06.17.24	2
1 OF 1	SITE SURVEY	11.03.23	06.17.24	2
ST01	PROPOSED SITE PLAN	11.03.23	06.17.24	2
A100	DEMO 1ST FLOOR PLAN PROPOSED 1ST FLOOR PLAN	05.24.23	06.17.24	2
A101	DEMO 1.5 FLOOR PLAN PROPOSED 1.5 FLOOR PLAN	05.24.23	06.17.24	2
A102	2ND FLOOR DEMO & PROPOSED PLAN	05.24.23	07.30.24	3
A200	NORTH & SOUTH ELEVATIONS	05.24.23	07.30.24	3
A201	EAST & WEST ELEVATIONS	05.24.23	07.30.24	3
A300	BUILDING SECTIONS	05.24.23	06.17.24	2
A301	ELEVATOR LIFT SPECIFICATION	06.17.24		2
A302	ELEVATOR LIFT SPECIFICATION	06.17.24		2

PROJECT TEAM

PROJECT	ARCHITECT	TENANT
ESPERANZA 309 MANHATTAN BEACH BLVD. MANHATTAN BEACH, CA 90266	ROBINSON HILL ARCHITECTURE, INC. 3195-B AIRPORT LOOP DRIVE COSTA MESA, CA 92626 PHONE: 714.825.8888 CONTACT: ALEX ARIE- PRINCIPAL MARIA HALLIMORE- PM	GREG NEWMAN 36 13TH CT. HERMOSA BEACH, CA 92627 PHONE: 310.374.3964 CONTACT: GREG NEWMAN

PARKING

(E) PARKING REQUIRED: 2
 (E) PARKING PROVIDED: 2

(N) PARKING SPACES REQUIRED FOR ADDITION: 5
 PARKING PROVIDED: 2
 NET NEW PARKING: 3

PARKING PROVIDED: 4 OFF-SITE PARKING STALLS, LOCATED AT 1140 HIGHLAND AVE (PER PARKING AGREEMENT, AND TRAFFIC REPORT).

Use	Quantity	Requirement	Spaces Required
Restaurant, Dining Area Proposed by Esperanza	1166	50 per space	= 23.32 spaces
Total(B):			23.32 spaces

Parking Exclusions/Exemptions

Type of Exclusion: Downtown 1 to 1 FAR Exemption

Excludable Area	Countable Area	% of Total
3393	2700	0.20424403

Total(B)	%age(B)	Net Req.(B)
23.32	x 0.204244	= 5.00

G:\PLANNING DIVISION\Parking Calcs- Multi-Tenant Sites\1108-1110-1112 Manhattan Ave

VICINITY MAP



TRAVEL DISTANCE FROM OFFSITE PARKING



ENTITLEMENT

PROJECT INFORMATION

Job Number: 22RHA1098
 Date: 03.20.23
 Sheet No.:

T001

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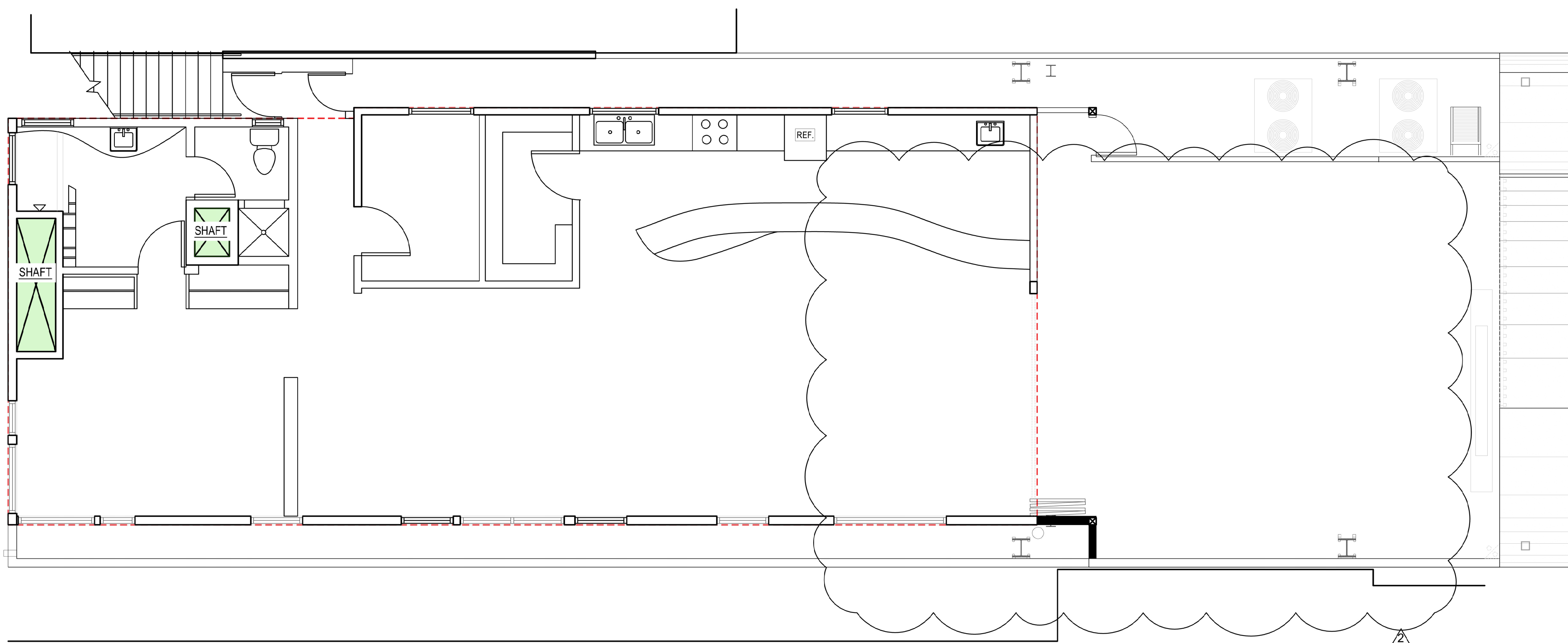
Owner

Consultant



Submittal Dates
 ENTITLEMENT SUBMITTAL 06.06.23
 ENTITLEMENT RE SUB. 04.04.24
 ENTITLEMENT RE SUB. 06.17.24

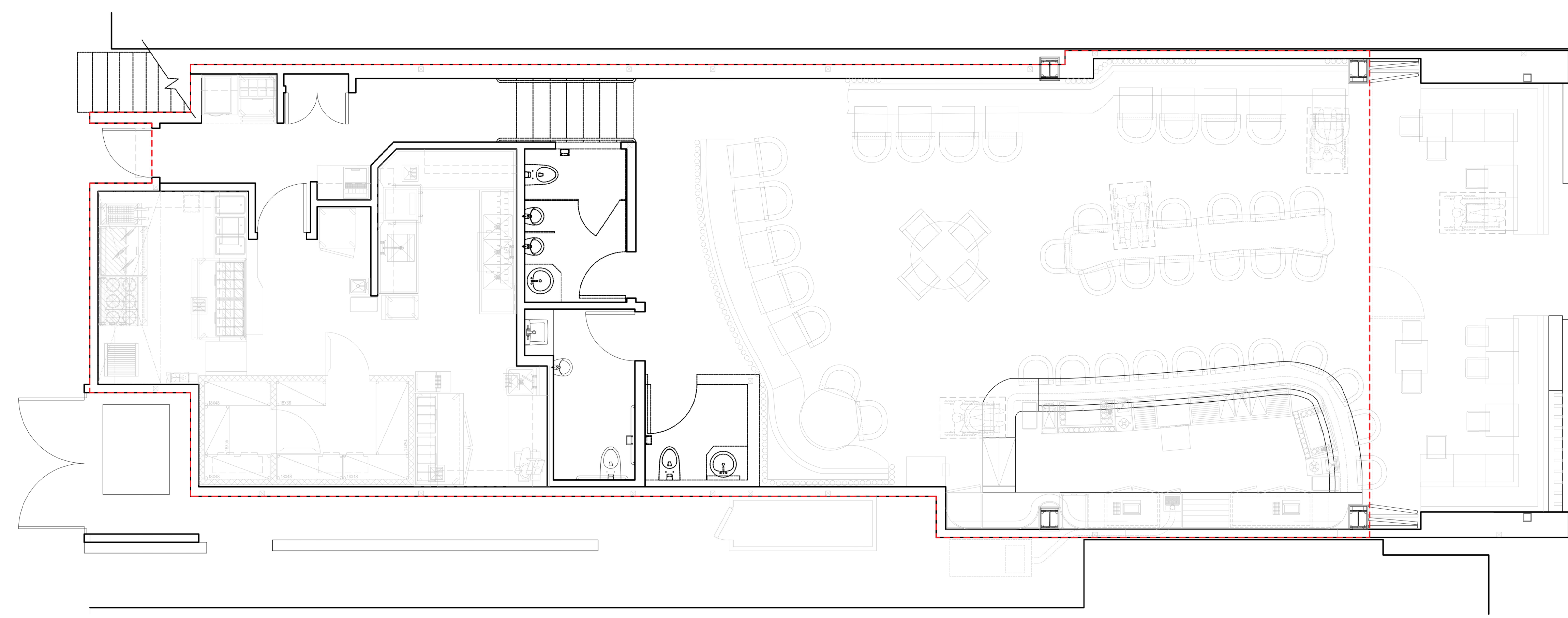
Rev.	Description	Date
1	P.C. CORRECTIONS	04.04.24
2	P.C. CORRECTIONS	06.17.24



FLOOR AREA, BUILDABLE = 1,388 SF

EXISTING SECOND FLOOR RESIDENTIAL FLOOR AREA, BUILDABLE 1/4" = 1'-0" 02

Project Info. Address



FLOOR AREA, BUILDABLE = 2,077 SF

--- TOTAL EXISTING BUILDABLE AREA = 3,465 SF
 ■ EXCLUSIONS

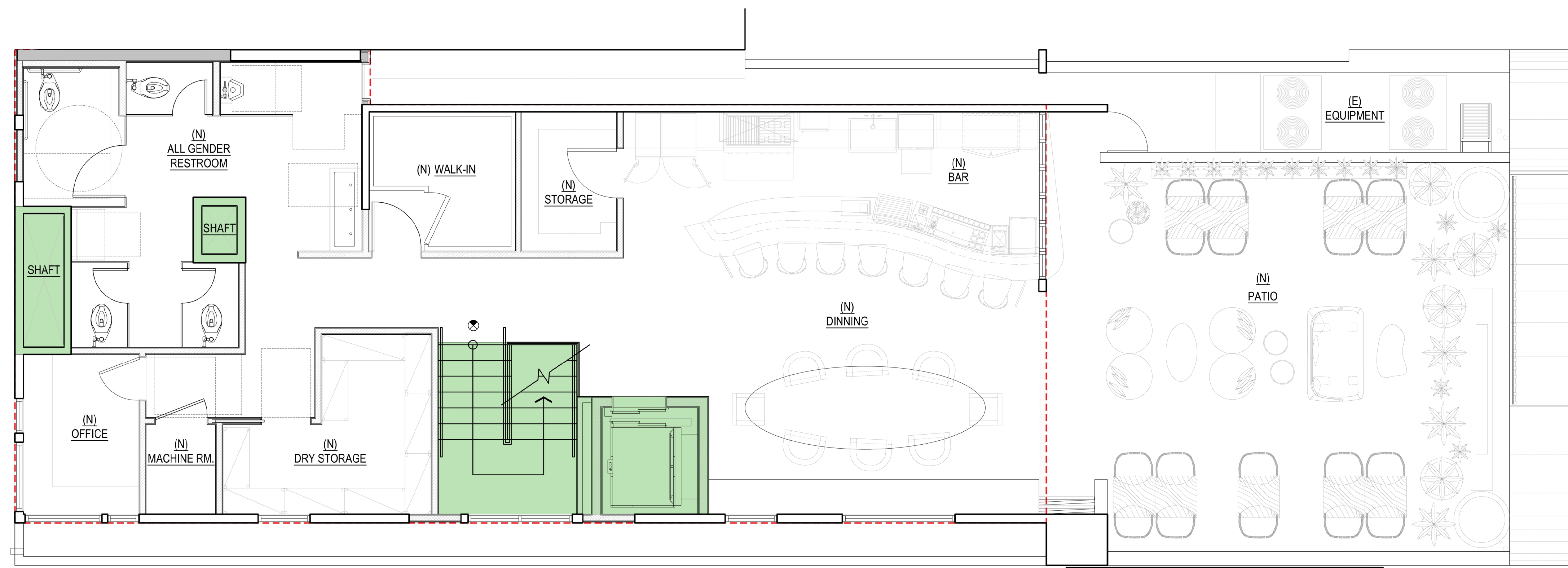
LEGEND

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ESPERANZA
 309 MANHATTAN BEACH BLVD.
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Sheet Title
**FIRST & SECOND FLOOR
 EXISTING BUILDABLE AREA**

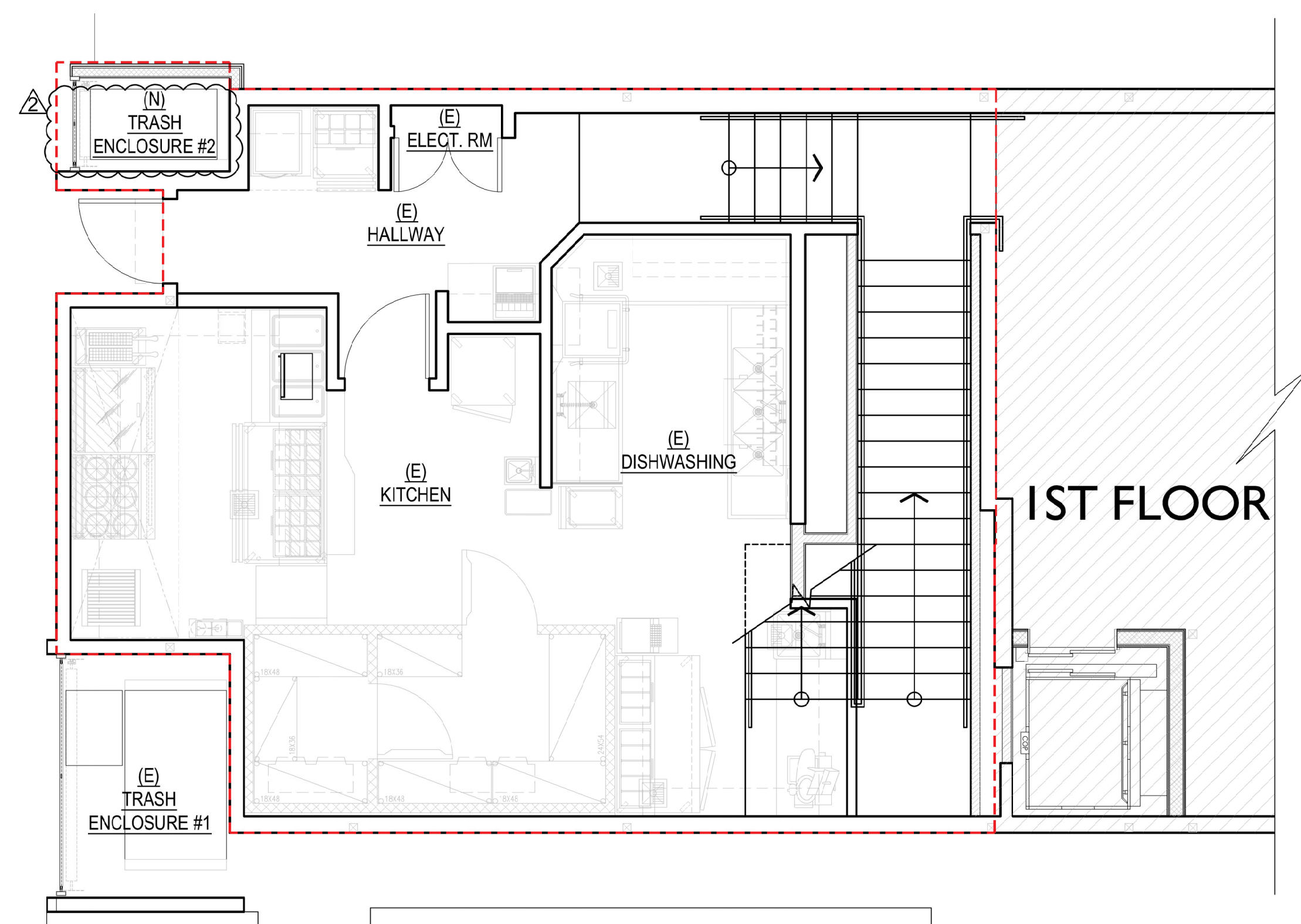
Job Number:
 22RHA1098
 Date:
 03.20.23
 Sheet No.:

EXISTING FIRST FLOOR RESTAURANT BUILDABLE AREA 1/4" = 1'-0" 01



FLOOR AREA, BUILDABLE = 1,333 SF

PROPOSED SECOND FLOOR RESTAURANT FLOOR AREA, BUILDABLE 1/4" = 1'-0" 03

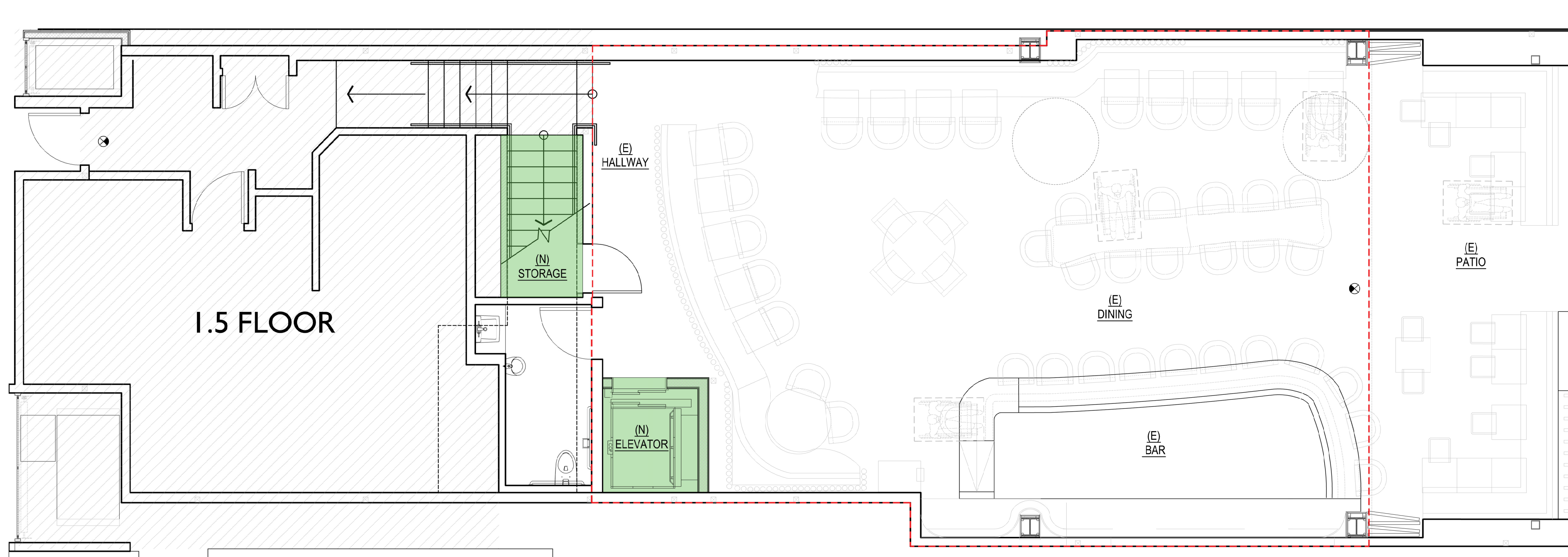


FLOOR AREA, BUILDABLE = 834 SF

PROPOSED 1.5 FLOOR RESTAURANT FLOOR AREA, BUILDABLE 1/4" = 1'-0" 02

LEGEND

- FLOOR AREA, BUILDABLE - TOTAL 3,393 SF
- EXCLUSIONS
- NOT A PART



FLOOR AREA, BUILDABLE = 1,226 SF

PROPOSED FIRST FLOOR RESTAURANT FLOOR AREA, BUILDABLE 1/4" = 1'-0" 01



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Owner

Consultant

Stamp



Submittal Dates
 ENTITLEMENT SUBMITTAL 06.08.23
 ENTITLEMENT RE SUB. 04.04.24
 ENTITLEMENT RE SUB. 06.17.24

Rev.	Description	Date
1	P.C. CORRECTIONS	04.04.24
2	P.C. CORRECTIONS	06.17.24

Project Info. Address

ESPERANZA
 309 MANHATTAN BEACH BLVD.
 MANHATTAN BEACH, CA 90266

ENTITLEMENT

Sheet Title

1ST, 1.5 & 2ND FLOOR
 AREA, BUILDABLE
 FLOOR PLAN

Job Number

22RHA1098

Date:

03.20.23

Sheet No.:

A001

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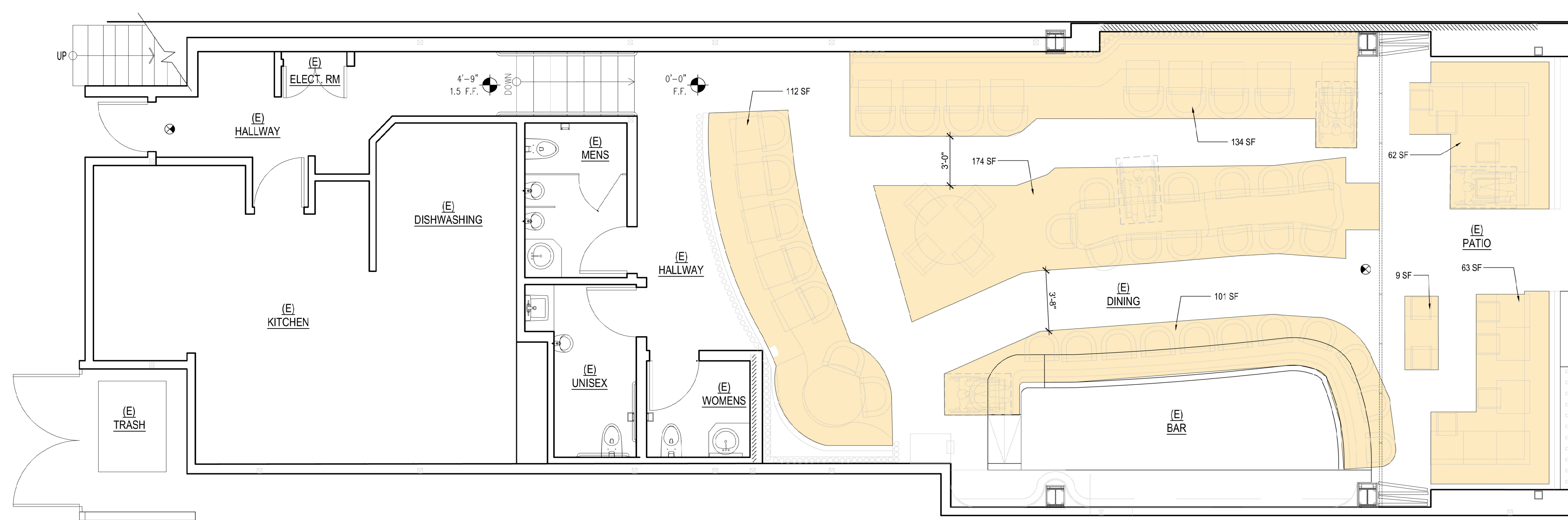
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Project Info. Address



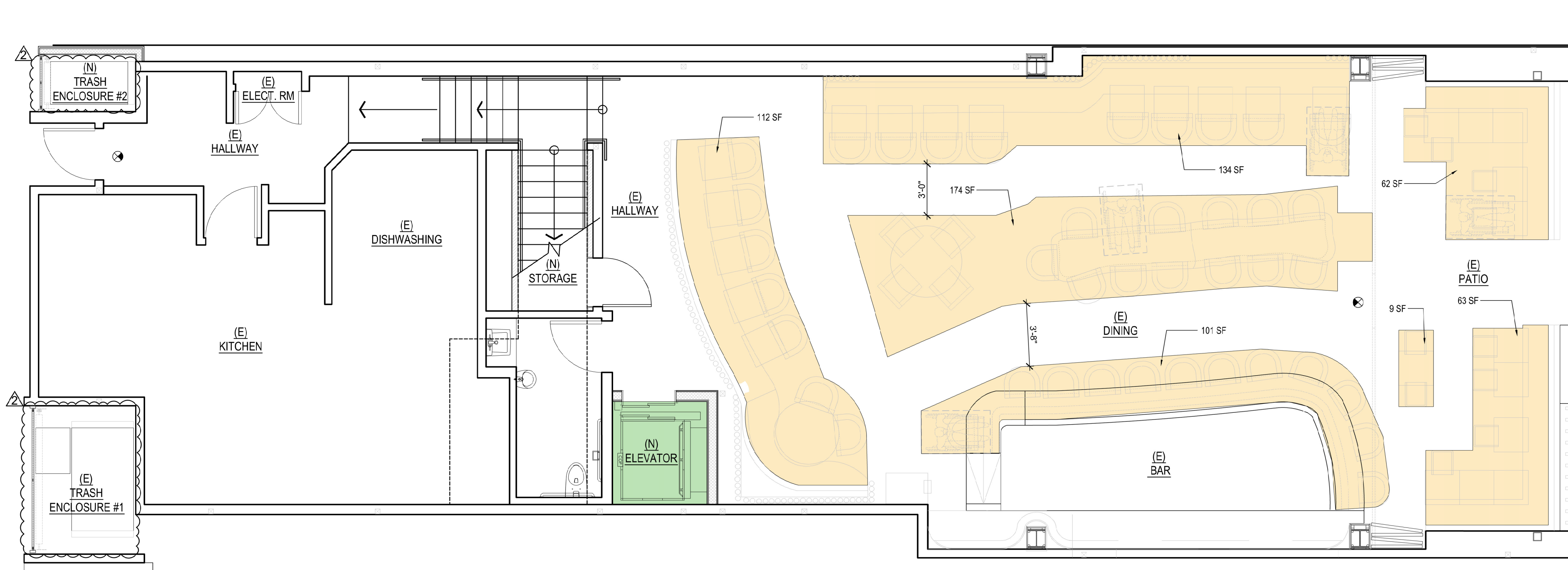
(E) SEATING SQ FT	
1ST FLOOR:	655
2ND FLOOR:	NA
TOTAL:	655

PROPOSED SEATING SQ FT	
1ST FLOOR:	655
2ND FLOOR:	706
TOTAL:	1,361

LEGEND
 (E) FIRST FLOOR SEATING AREA = 655 SF

LEGEND

LEGEND
 (N) PROPOSED FIRST FLOOR SEATING AREA = 655 SF
 (N) PROPOSED ELEVATOR



ENTITLEMENT
 ESPERANZA
 309 MANHATTAN BEACH BLVD.
 MANHATTAN BEACH, CA 90266

Sheet Title
 FIRST FLOOR DINING AREA

Job Number:
 22RHA1098
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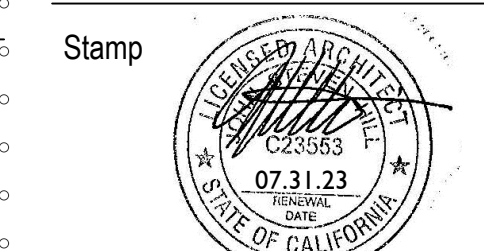
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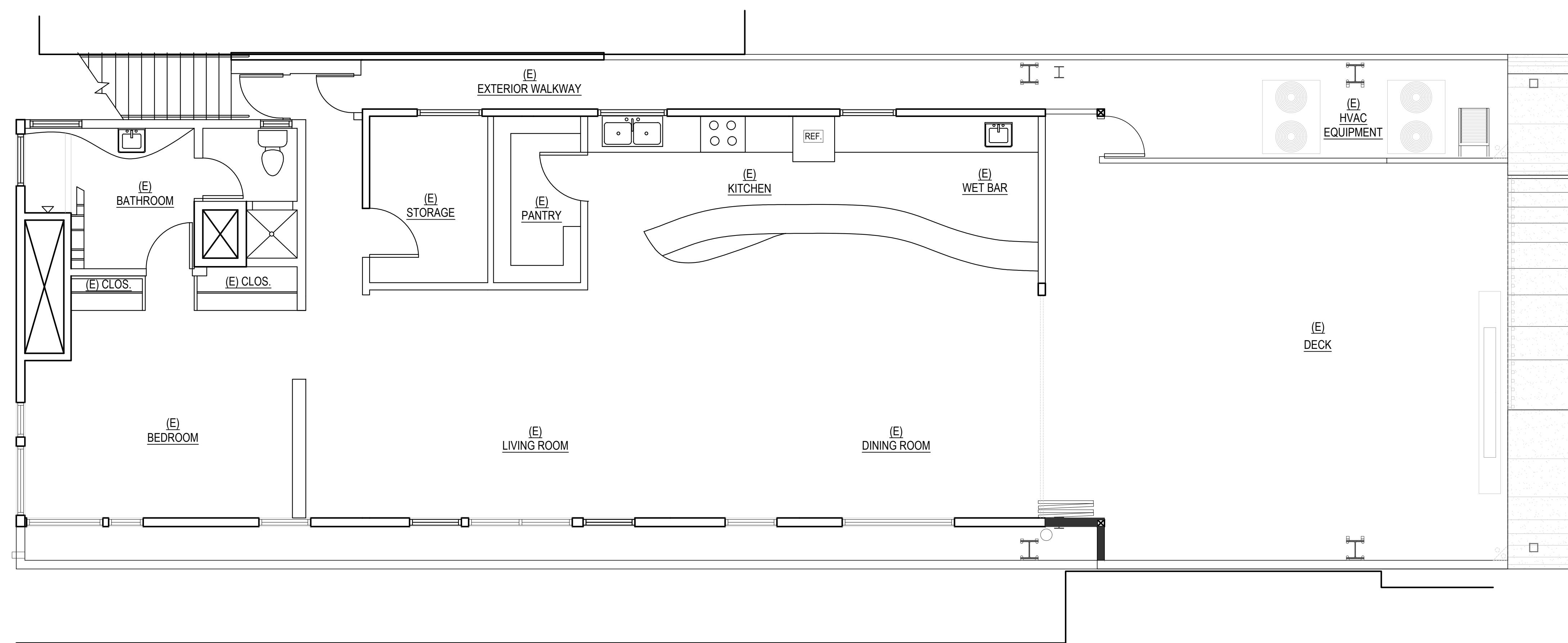
Consultant



Stamp
 Submittal Dates
 ENTITLEMENT SUBMITTAL 06.08.23
 ENTITLEMENT RE SUB. 04.04.24
 ENTITLEMENT RE SUB. 06.17.24
 ENTITLEMENT RE SUB. 08.12.24

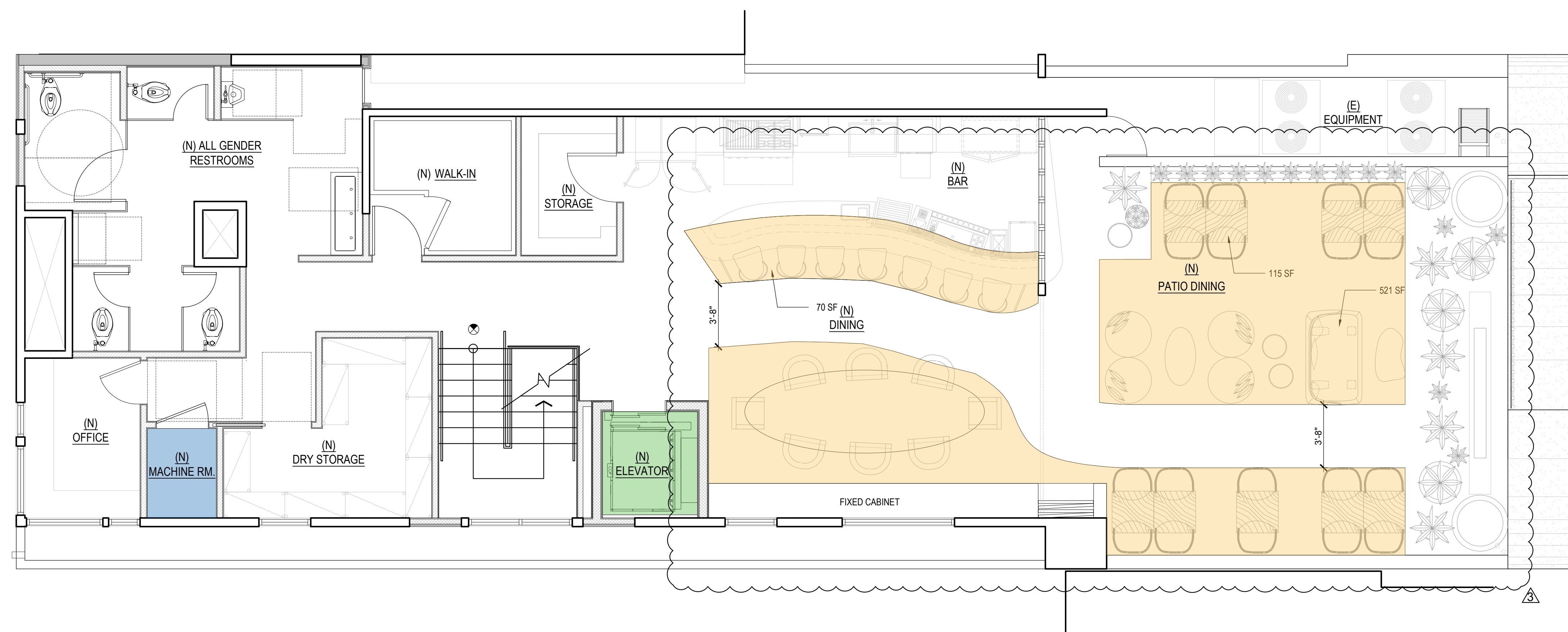
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1	P.C. CORRECTIONS	04.04.24
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3	P.C. CORRECTIONS	08.12.24

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LEGEND
 (E) RESIDENTIAL AREA - NO SEATING SCOPE

EXISTING SECOND FLOOR RESIDENTIAL 1/4" = 1'-0" 02



LEGEND
 (N) PROPOSED SECOND FLOOR SEATING AREA = 512 SF
 (N) PROPOSED ELEVATOR
 (N) PROPOSED ELEVATOR MACHINE ROOM

PROPOSED SECOND FLOOR RESTAURANT 1/4" = 1'-0" 01

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 MANHATTAN BEACH, CA 90266

Sheet Title
 SECOND FLOOR DINING AREA

Job Number:
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 Sheet No.:

A003

- 01 NEW EMERGENCY WALL MOUNTED LIGHTING
- 02 LED EXIST SIGN WITH POWER BACK UP SUPPLY SHALL BE INSTALLED AND COMPLY PER CBC 1013.3 & 1013.6.3
- 03 (N) INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN AT BUILDING ENTRANCE, MOUNTED @ +48" MIN. & 72" MAX. PER CBC 11B-216.6 AND 210C-1
- 04 APPROVED SIGN IN CONTRASTING COLOR FROM BACKGROUND THAT INDICATES THE NUMBER OF OCCUPANTS PERMITTED IN ROOM PER USE
- 05 APPROVED SIGN IN CONTRASTING COLOR FROM BACKGROUND THAT INDICATES "THIS DOOR SHALL REMAIN UNLOCKED WHENEVER THE BUILDING IS OCCUPIED"
- 06 TACTILE EXIT SIGNAGE TO COMPLY PER 11B-703.1, 11B-703.1, 11B-703.2, 11B-703.3 & 11B-216.4.1. SEE DETAIL 03.04.08.09 & 1510C-1
- 07 ACCESSIBLE EGRESS PATH OF TRAVEL
- 08 (N) OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. CFC 1004.3. SEE PLAN FOR OCC. LOAD TO BE POSTED
- 09 BABY CHANGING TABLE

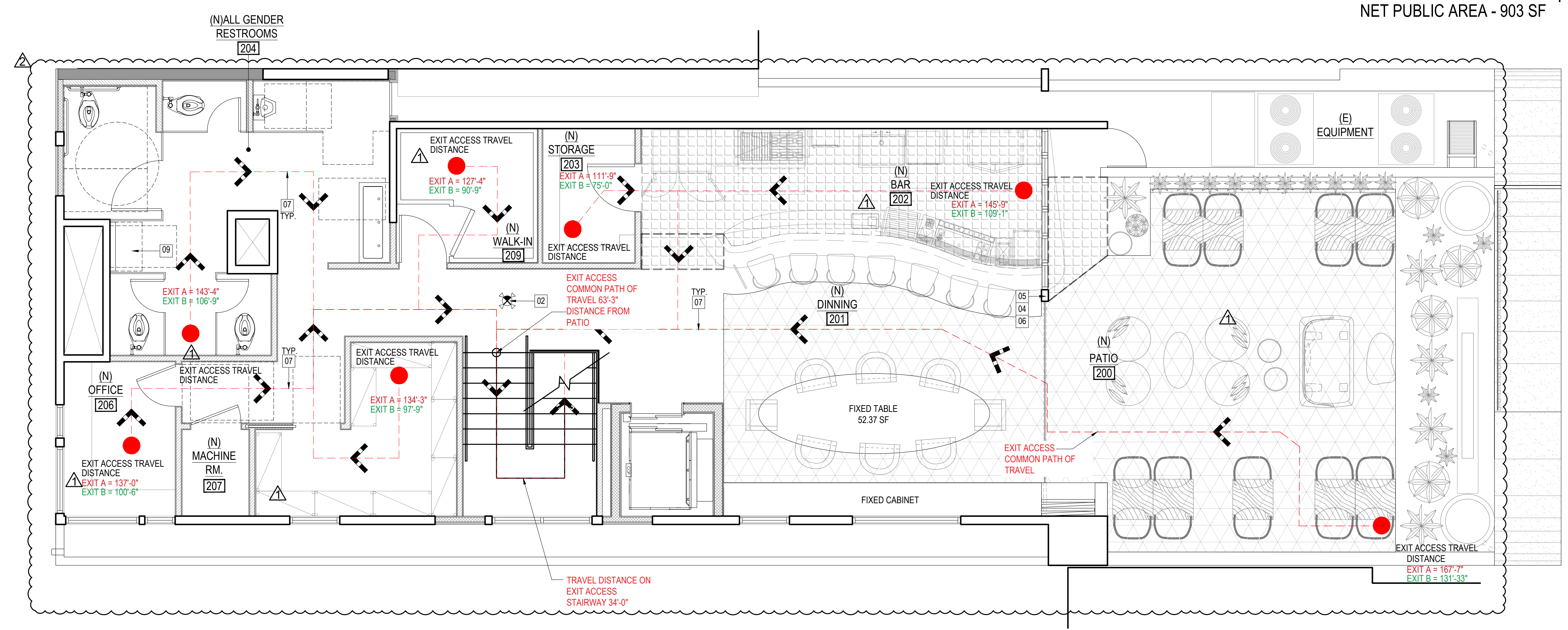
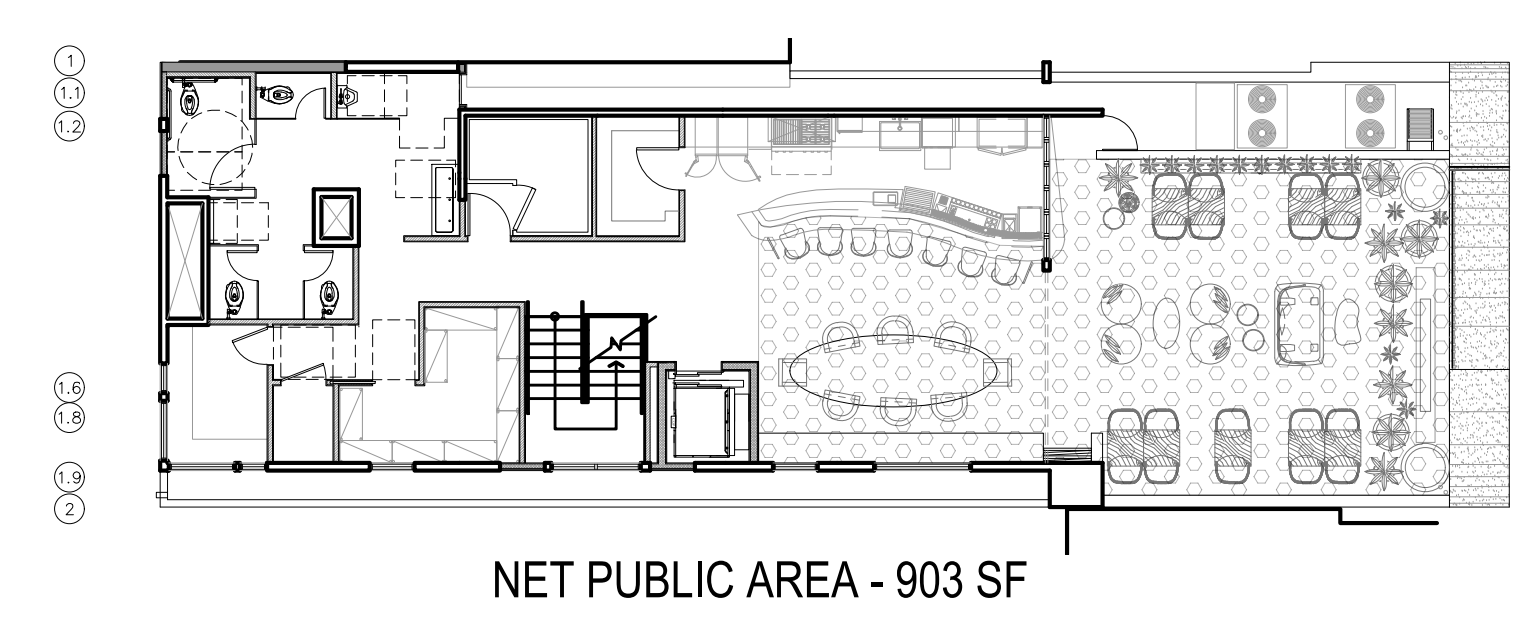
KEYNOTES

PLUMBING FIXTURE CALCULATIONS

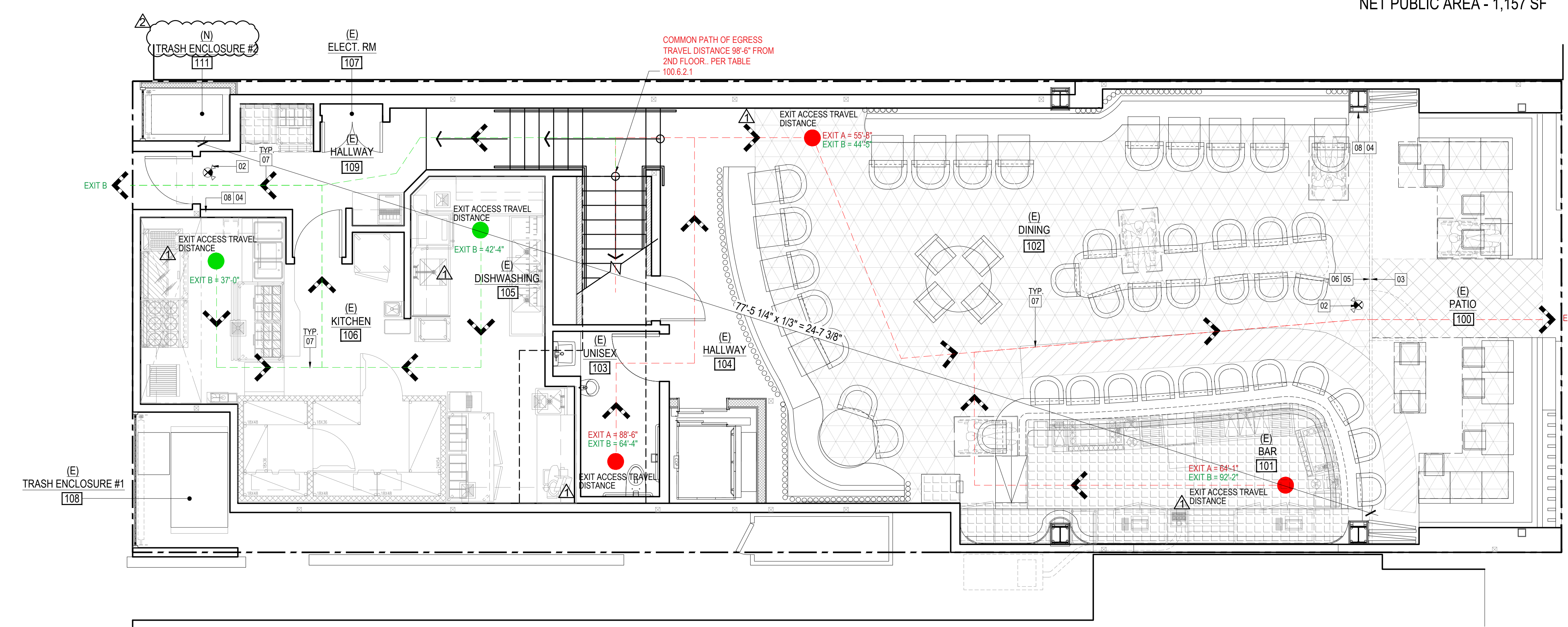
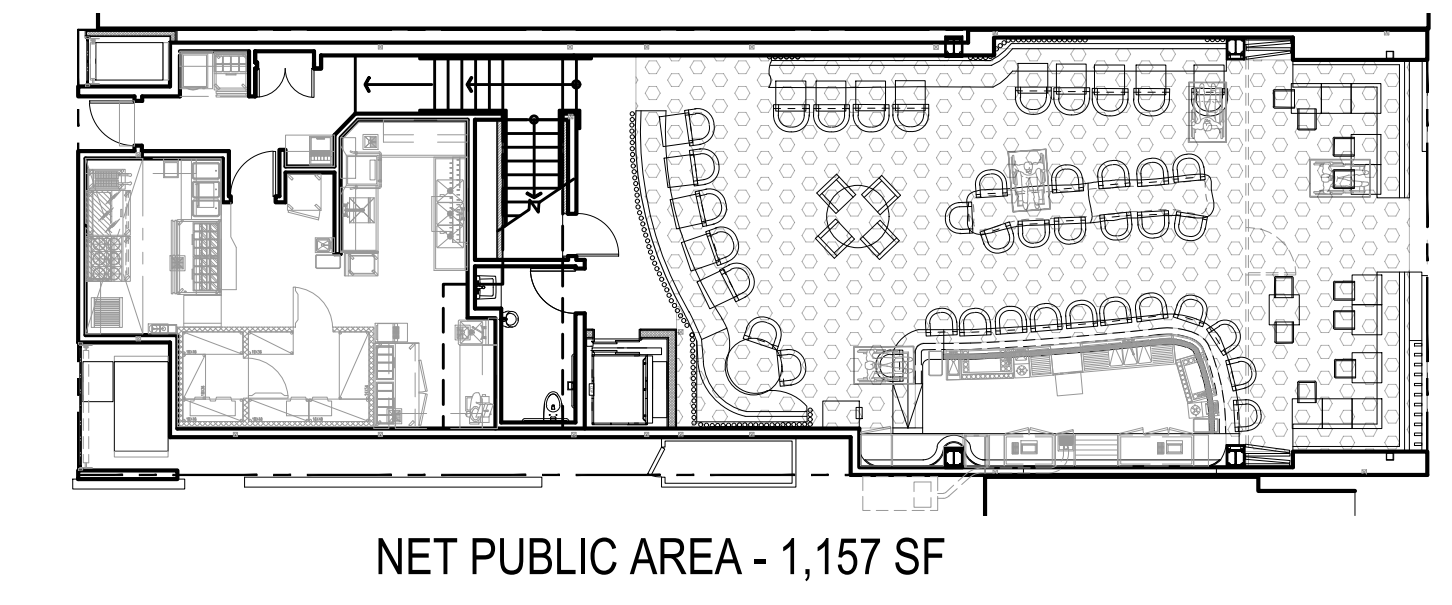
CPC Table 422.1 & Table 4-1			
Type	Area	Ratio	Occ.
1ST FL.			
A-2	712.00	30	24.00
A-2	18 LN		
FIXED	685 IN	50%	19.00
KITCHEN & SERVICE AREA - 1/200 SF			
PATIO	362.00	50	9.00
FIXED	417 IN	50%	12.00
PATIO	218.00	30	10.00
2ND FL.			
A-2	262.61	30	8.75
BAR	105	50	2.12
OFFICE	61.67	50	1.23
STORAGE	139.59	4000	0.03
PATIO	570.71	30	19.00
TOTAL			105.13

Occupants		
53.0	M	2 WC, 1 U & 1 Lav
1:1-50;	1:1-200;	1:1-150
53.0	F	3 WC & 1 Lav

	Required	Provided	ADA
M-WC	2	0	0
M-U	1	0	0
M-L	1	0	0
W-WC	3	0	0
W-L	1	0	0
U-WC	0	5	2
U-U	0	2	2
L-L	0	3	2



SECOND FLOOR EGRESS & OCCUPANCY PLAN 1/4" = 1'-0" 02



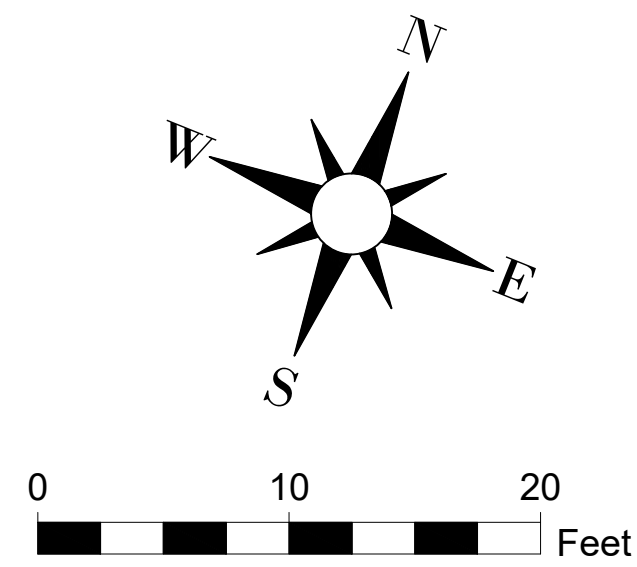
FIRST FLOOR EGRESS & OCCUPANCY PLAN 1/4" = 1'-0" 01

OCCUPANT LOAD CALCULATIONS

LEGEND		PLUMB. FITX. CALCS.		
FIRST FLOOR				
DESCRIP. AREA / NAME	USE	NET SF	LENGTH EACH	OCC. FACTOR OCC. LOAD
KITCHEN				
BEER / COOLER / FREEZ.	A-2	75.00	sf	1200 sf 0.40
DISHWASHING	A-2	88.00	sf	1200 sf 0.44
KITCHEN	A-2	263.00	sf	1200 sf 1.00
DINING				
DINING	LOOSE TABLE & CHAIRS	602.00	sf	1/15 sf 40.00
BACK OF BAR	A-2	172.00	sf	1200 sf 1.00
BAR STANDING	A-2	63.00	sf	1/7 sf 9.00
BAR STOOL	A-2		11.00	1 each 11.00
BOOTH SEATING	A-2		57 LF	1/2 sf 29.00
SERVICE	A-2	19.00	sf	1200 sf 1.00
FRONT PATIO				
WAITING AREA	STAND	54.00	sf	1/5 sf 11.00
DINING	LOOSE TABLE & CHAIRS	86.00	sf	1/15 sf 6.00
BOOTH SEATING	A-2		35 LF	1/2 sf 18.00
TOTALS				128

SECOND FLOOR		PLUMB. FITX. CALCS.		
DESCRIP. AREA / NAME	USE	NET SF	LENGTH/ EACH	OCC. FACTOR OCC. LOAD
BOH				
LIQUOR STORAGE	A-2	44.18	sf	1/200 sf 0.22
DRY STORAGE	A-2	95.41	sf	1/200 sf 0.48
BEER / COOLER / FREEZ.	A-2	67.89	sf	1/200 sf 0.34
MNG. OFFICE	B	61.67	sf	1/150 sf 0.41
INTERIOR DINING				
DINING	LOOSE TABLE & CHAIRS	164.04	sf	1/15 sf 10.93
BACK OF BAR	A-2	165.32	sf	1/200 sf 0.83
BAR STOOL	A-2		7.00	1 each 7.00
SERVICE	A-2	10.43	sf	1/200 sf 0.05
DECK PATIO				
DINING	LOOSE TABLE & CHAIRS	411.75	sf	1/15 sf 27.45
SERVICE	A-2	21.50	sf	1/200 sf 0.11
TOTALS				48

NOTE
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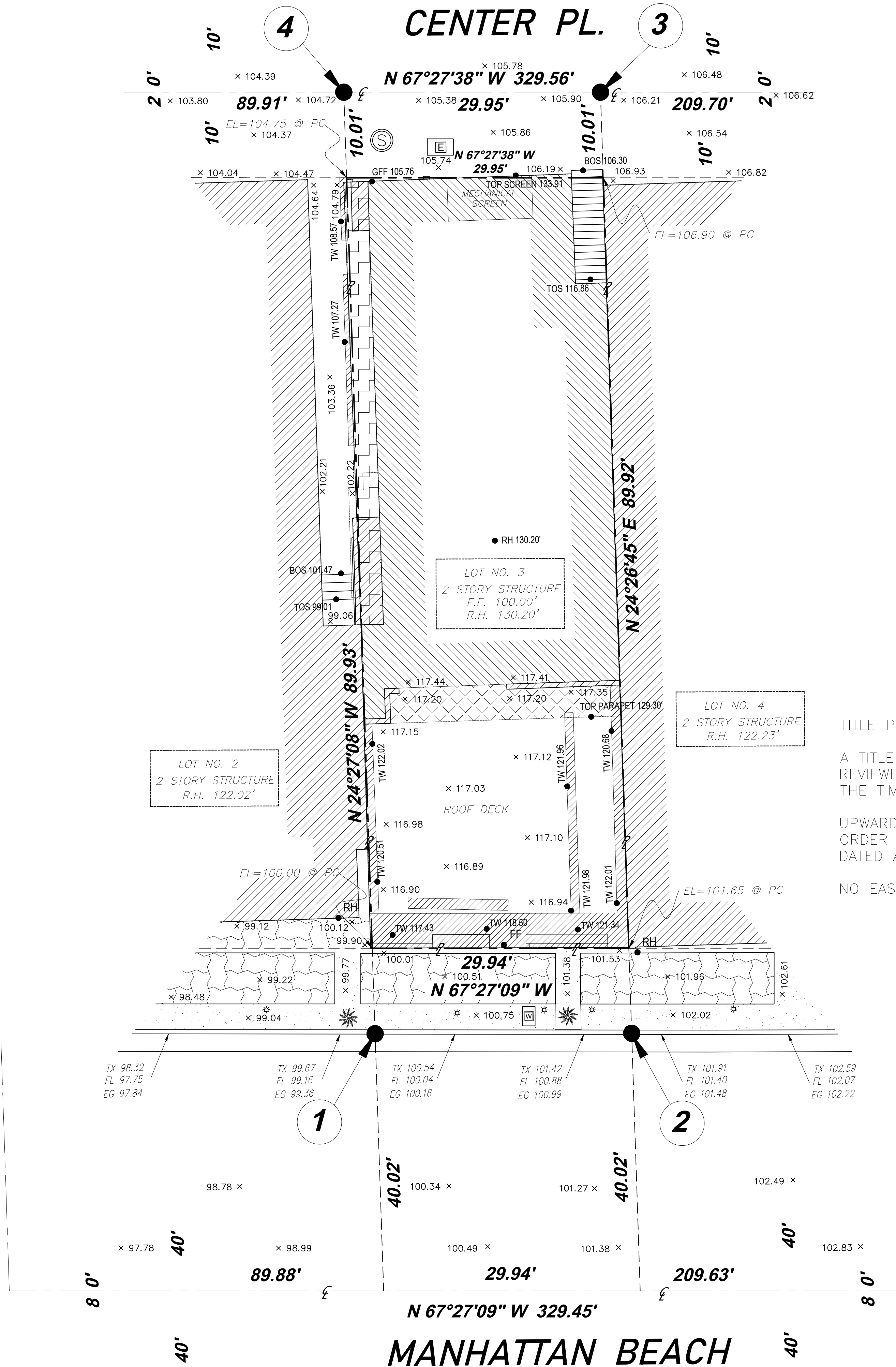
MONUMENTS DETAILS:

- ① SET LTT STAMPED LS 9806 ON PL PROD 10.00' S'LY OF PC. EL=99.47'
- ② SET LTT STAMPED LS 9806 ON PL PROD 10.00' S'LY OF PC. EL=102.75'
- ③ SET LTT STAMPED LS 9806 ON PL PROD. 10.00' N'LY OF PC. EL=106.12'
- ④ SET LTT STAMPED LS 9806 ON PL PROD. 10.00' N'LY OF PC. EL=104.95'

LEGEND & BLOCKS

SYMBOLS	HATCHING & LINE TYPE
⊕ POWER POLE	[Hatch] BRICK PAVERS
⊙ LIGHT POLE	[Hatch] BUILDING
— GUY WIRE	[Hatch] BUILDING EXTENSION
⊕ WATER VALVE	[Hatch] ASPHALT
⊕ FIRE HYDRANT	[Hatch] CONCRETE
⊕ WATER METER	[Hatch] SHED
⊕ SEWER MANHOLE	[Hatch] STONE PAVERS
⊕ GAS VALVE	[Hatch] TILE PAVERS
⊕ GAS METER	[Hatch] WOOD DECK
⊕ ELECTRIC VAULT	[Hatch] BRICK WALL
⊕ ELECTRIC METER	[Hatch] BUILDING LINE
⊕ ELECTRIC TRANSFORMER	[Hatch] CONCRETE BLOCK WALL
⊕ AIR CONDITIONER UNIT	[Hatch] CENTER LINE
⊕ WATER HEATER	[Hatch] CHAINLINK FENCE
⊕ STORM DRAIN MANHOLE	[Hatch] CURB LINE
⊕ STORM DRAIN INLET	[Hatch] GUTTER LINE
⊕ MAIL BOX	[Hatch] PLANTER WALL
⊕ BOLLARD	[Hatch] PLANTER LINE
⊕ DOUBLE GATE	[Hatch] POWER LINE
⊕ SLIDE GATE	[Hatch] IRON FENCE
⊕ SINGLE GATE	[Hatch] RETAINING WALL
⊕ FLAG POLE	[Hatch] ROOF LINE
⊕ TRAFFIC CONTROL BOX	[Hatch] STONE WALL
⊕ TRAFFIC LIGHT	[Hatch] STAIRCASE LINE
⊕ SIGN	[Hatch] VINYL FENCE
⊕ HANDICAP SIGN	[Hatch] WOOD FENCE
⊕ HANDICAPPED PARKING	[Symbol] TREE
⊕ BUILDING HEIGHT LOCATION	
⊕ FINISH FLOOR HEIGHT LOCATION	
⊕ UNKNOWN UTILITY	

HIGHLAND AVE.



TITLE POLICY NOTE:

A TITLE REPORT HAS BEEN PROVIDED AND REVIEWED BY EAGLE EYE LAND SURVEYING AT THE TIME OF THIS SURVEY.

UPWARD TITLE COMPANY
 ORDER NUMBER: 4220124-00588
 DATED AS OF MAY 14, 2024

NO EASEMENTS PER SAID DOCUMENT

BASIS OF BEARINGS: N 67°27'38" W LINE OF CENTER PL. PER RECORD OF SURVEY, M.B. 292/42 AS FILED IN THE RECORDS OF LOS ANGELES COUNTY.

PROJECT NOTES:

N/A

ASSUMED BENCHMARK:

LTT STAMPED LS 9806 ON PL PROD. 10.00' S'LY OF PC. EL= 102.75', AS SHOWN HEREON.

E.E. LAND SURVEYING

CLIENT: MB PALMILLA INC.
 PROJECT NO: 23-176
 DATE: 08/15/23
 ASSESSOR'S I.D. NUMBER: APN:4179-005-002
 LEGAL DESCRIPTION: LOT NO. 3, MANHATTAN BEACH DIVISION NO. 2, M.B. 1-95-96

DATE OF REVISIONS:	ITEM

MAP ISSUE DATE: 5/29/2024
 DRAFTED BY: M.A.P.

ABBREVIATIONS:

AB	AGGREGATE BASE
AC	ASPHALT PAVEMENT
AD	AREA DRAIN
BW	BENCHMARK
BOS	BOTTOM OF STAIRS
BOW	BACK OF WALK
BRMP	BOTTOM OF RAMP
BS	BOTTOM OF SLOPE
CB	CATCH BASIN
CBW	CONCRETE BLOCK WALL
CF	CURE FACE
CLF	CHAIN LINK FENCE
CONC	CONCRETE
E	EAST
EG	EDGE OF GUTTER
EL	ELEVATION
EM	ELECTRIC METER
EMH	ELECTRIC MANHOLE
EP	EDGE OF PAVEMENT
EPB	ELECTRIC PULL BOX
EV	ELECTRIC VAULT
EVV	ELECTRICAL VENTILATION BOX
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FND	FOUND
FOW	FACE OF WALK
FS	FINISHED SURFACE
GB	GRADE BREAK
GM	GAS METER
GV	GAS VALVE
ICV	IRRIGATION CONTROL VALVE
IE	INVERT ELEVATION
IP	IRON PIPE
LP	LEAD, TACK & TAG
LT	LEAD & TACK
MP	METAL POST
N	NORTH
NG	NATURAL GROUND ELEVATION
O/S	OFFSET
OHW	OVERHEAD WIRE
PB	PULL BOX
PC	PROPERTY CORNER
PL	PROPERTY LINE
PLS	PROFESSIONAL LAND SURVEYOR
PLT	PARKING LOT LIGHT
PM	PARKING METER POST
PP	POWER POLE
PROD	PRODUCED
RCE	REGISTERED CIVIL ENGINEER
RW	RETAINING WALL
S	SOUTH
SB	SPLASH BOX
SDMH	STORM DRAIN MANHOLE
SMH	SEWER MANHOLE
SPB	SIGNAL PULL BOX
STLT	STREET LIGHT
SW	SPIKE & WASHER
TBM	TEMPORARY BENCHMARK
TC	TOP OF CURB
TELMH	TELEPHONE MANHOLE
TG	TOP OF GRATE ELEVATION
TOS	TOP OF STAIRS
TR	TREE
TS	TRAFFIC SIGNAL
TS	TOP OF SLOPE
TW	TOP OF WALL
TX/BX	TOP/BOTTOM OF X
W	WEST
WD-FENCE	WOOD FENCE
WFENCE	ROUGH IRON FENCE
WM	WATER METER
WV	WATER VALVE

BOUNDARY/TOPOGRAPHIC SURVEY

SITE ADDRESS: 309 Manhattan Beach Blvd, Manhattan Beach, CA 90266

LICENSED LAND SURVEYOR

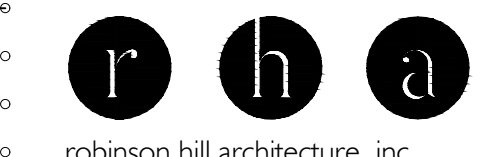
ALL MAPS, PLATS, REPORTS, DESCRIPTIONS, OR OTHER DOCUMENTS ARE PREPARED UNDER THE RESPONSIBLE CHARGE OF A LICENSED LAND SURVEYOR, LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA, MICHAEL PROFET, LS 9806

PURSUANT TO THE PROFESSIONAL LAND SURVEYOR'S ACT BUSINESS AND PROFESSIONS CODE SECTION 8700-8805.



PREPARED BY: EAGLE EYE LAND SURVEYING
 CIVIL ENGINEERING & LAND SURVEYING
 1311 MANHATTAN BEACH BLVD.
 #4 MANHATTAN BEACH, CA 92780
 PHONE (310)955 8901

5/29/2024



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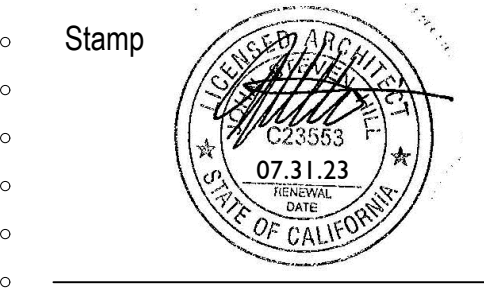
Michael David Robinson: C-20731
 John Steven Hill: C-23553

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Owner
 Consultant

Stamp



Submission Dates
 ENTITLEMENT SUBMITTAL 06.08.23
 ENTITLEMENT RE SUB. 04.04.24
 ENTITLEMENT RE SUB. 06.17.24

Rev.	Description	Date
△	P.C. CORRECTIONS	04.04.24
△	P.C. CORRECTIONS	06.17.24

KEYNOTES

- SITE OF WORK
- (E) ADJACENT COMMERCIAL BUILDING
- (E) ACCESSIBLE PATH OF TRAVEL FROM PUBLIC RIGHT OF WAY

Project Info. Address

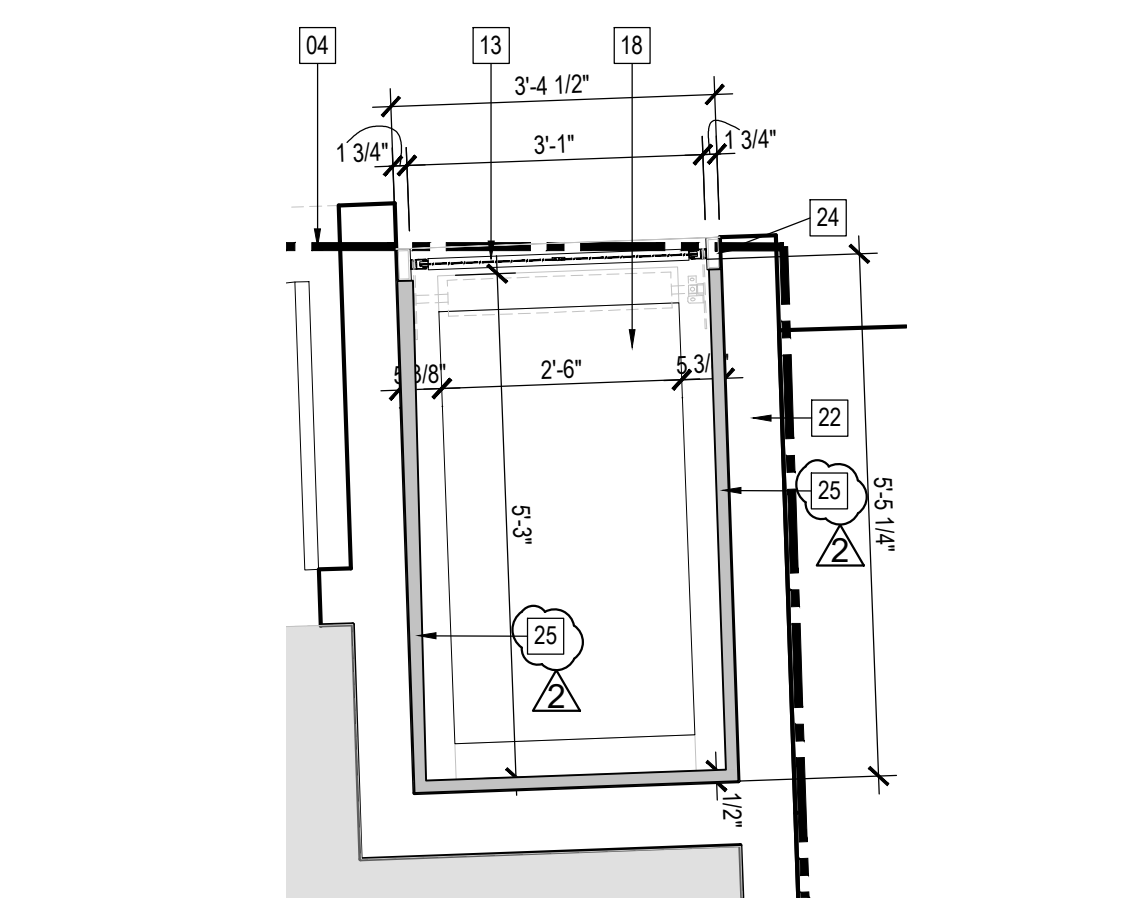
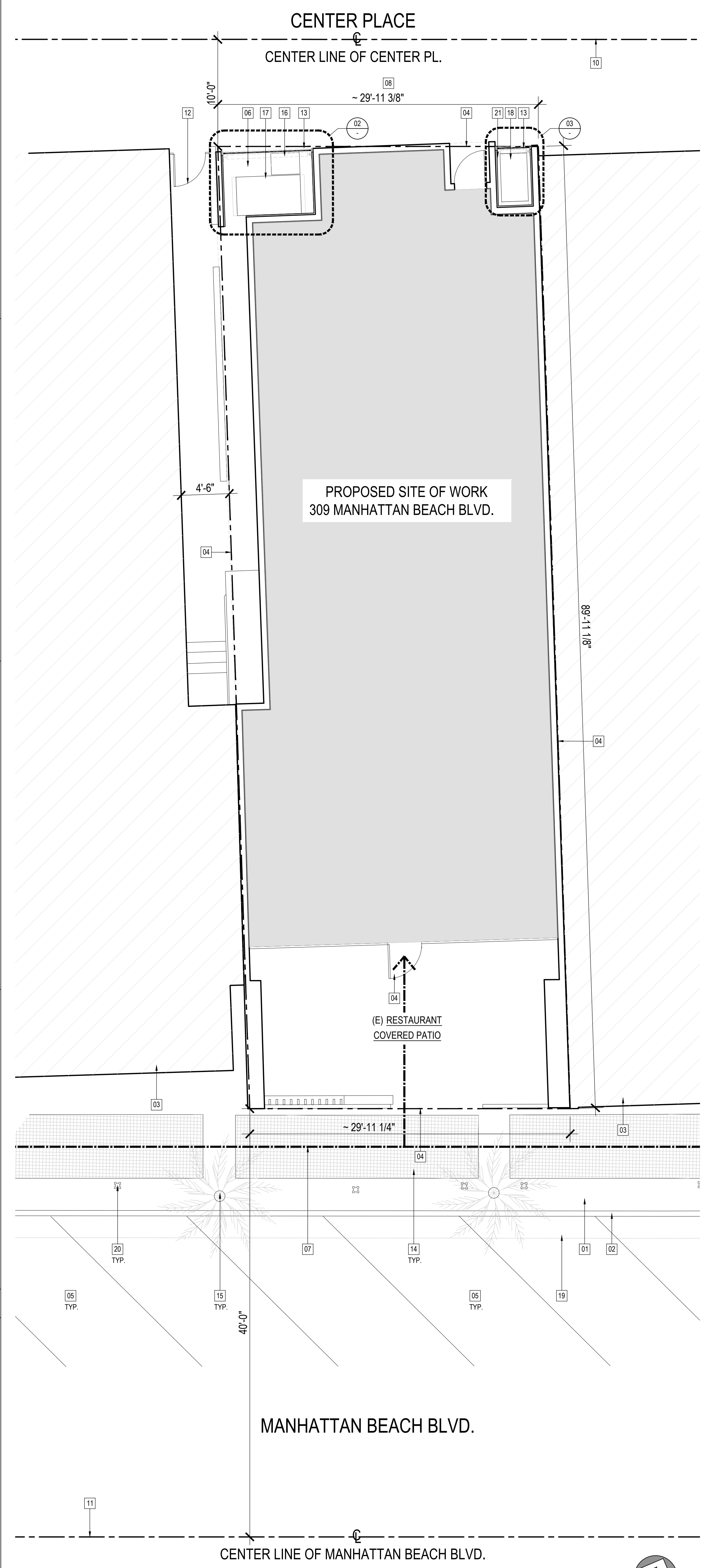
ENTITLEMENT
 ESPERANZA
 309 MANHATTAN BEACH BLVD.
 MANHATTAN BEACH, CA 90266

Sheet Title

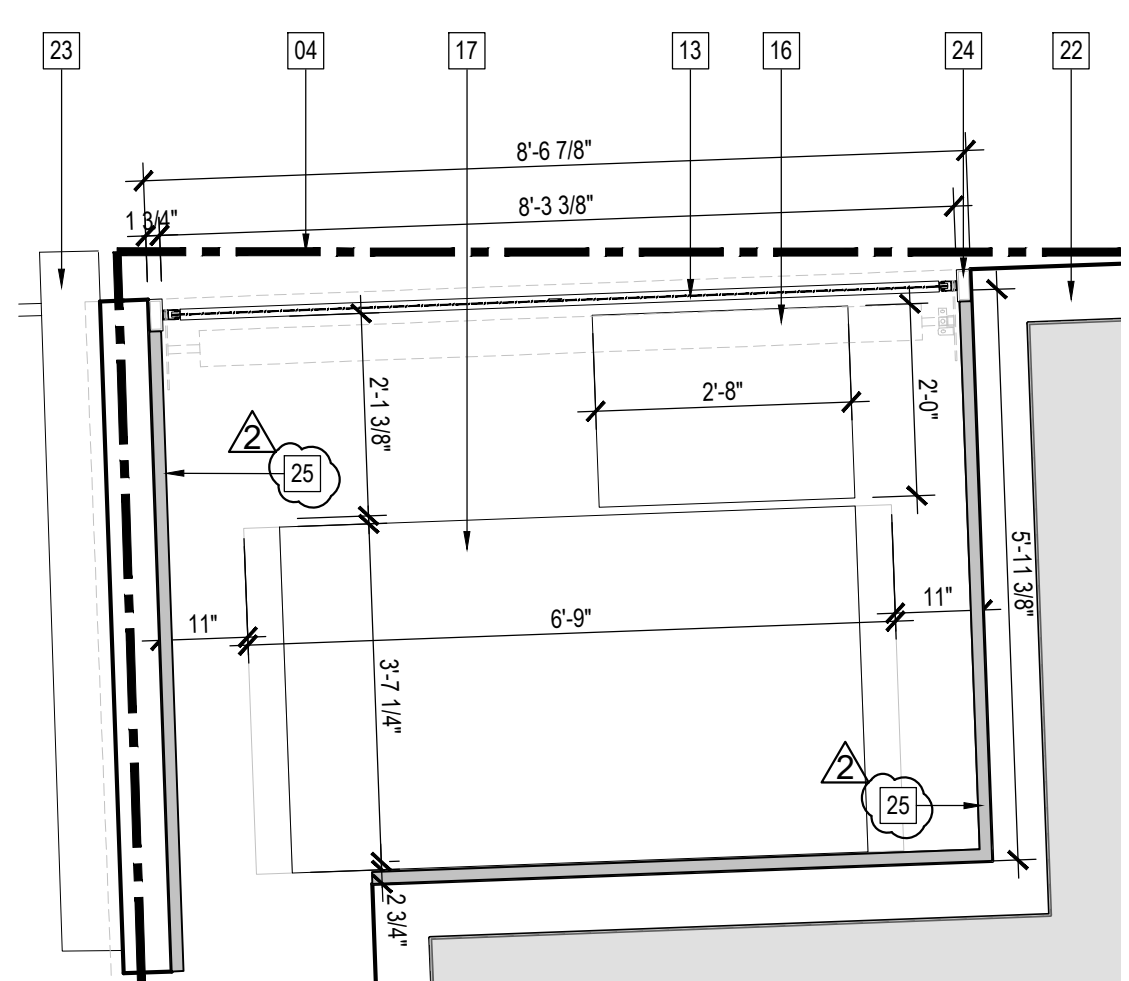
PROPOSED SITE PLAN

Job Number:
22RHA1098
 Date:
03.20.23
 Sheet No.:

ST01



(N) TRASH ENCLOSURE #2 PLAN 1/2" = 1'-0" 03



(E) TRASH ENCLOSURE #1 PLAN 1/2" = 1'-0" 02

PROPOSED SITE PLAN 3/16" = 1'-0" 01

GENERAL NOTES

- LEGEND
- G.C. IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS AND DIMENSIONS. G.C. TO ADVISE ARCHITECT OF ANY DISCREPANCIES.
 - SIGN PERMIT TO BE FILED SEPARATELY BY SIGN CONTRACTOR. SIGNAGE TO BE FABRICATED AND INSTALLED BY SIGN CONTRACTOR, INCLUDING COORDINATION W/ G.C. AND ELECTRICIAN AS REQUIRED.



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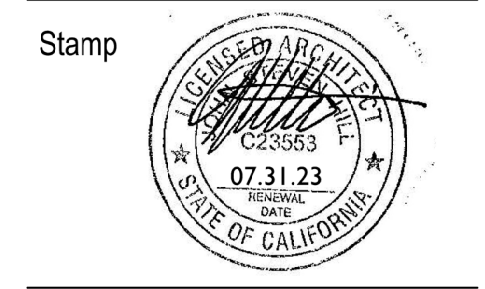
Michael David Robinson: C-20731
 John Steven Hill: C-23553

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Owner

Consultant



Stamp

Submittal Dates
 ENTITLEMENT SUBMITTAL 06.08.23
 ENTITLEMENT RE SUB. 04.04.24
 ENTITLEMENT RE SUB. 06.17.24

Rev. Description Date

△ P.C. CORRECTIONS 04.04.24
 △ P.C. CORRECTIONS 06.17.24

Project Info. Address

ENTITLEMENT

Sheet Title

FIRST FLOOR DEMO PLAN

Job Number: 22RHA1098

Date: 03.20.23

Sheet No.:

309 MANHATTAN BEACH BLVD.
 MANHATTAN BEACH, CA 90266

ESPERANZA

FIRST FLOOR PROPOSED PLAN

1/4" = 1'-0" 02

LEGEND

Legend items:

- DEMO
- (E) WOOD STUD WALL TO REMAIN
- (N) GALVANIZED MTL. WALL (REFER TO SHEET A102 FOR WALL TYPES)
- (N) WOOD STUD WALL (REFER TO SHEET A102 FOR WALL TYPES)

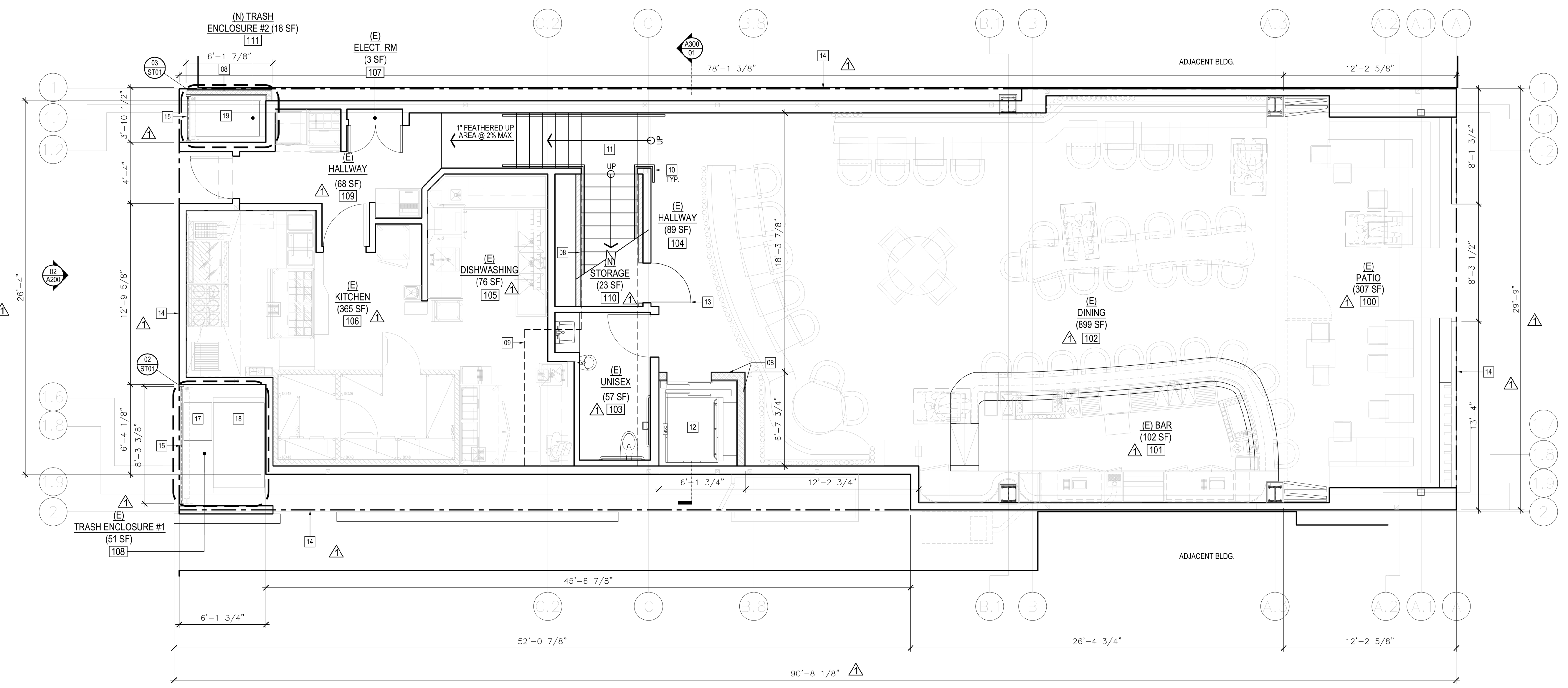
KEYNOTES

Keynote items:

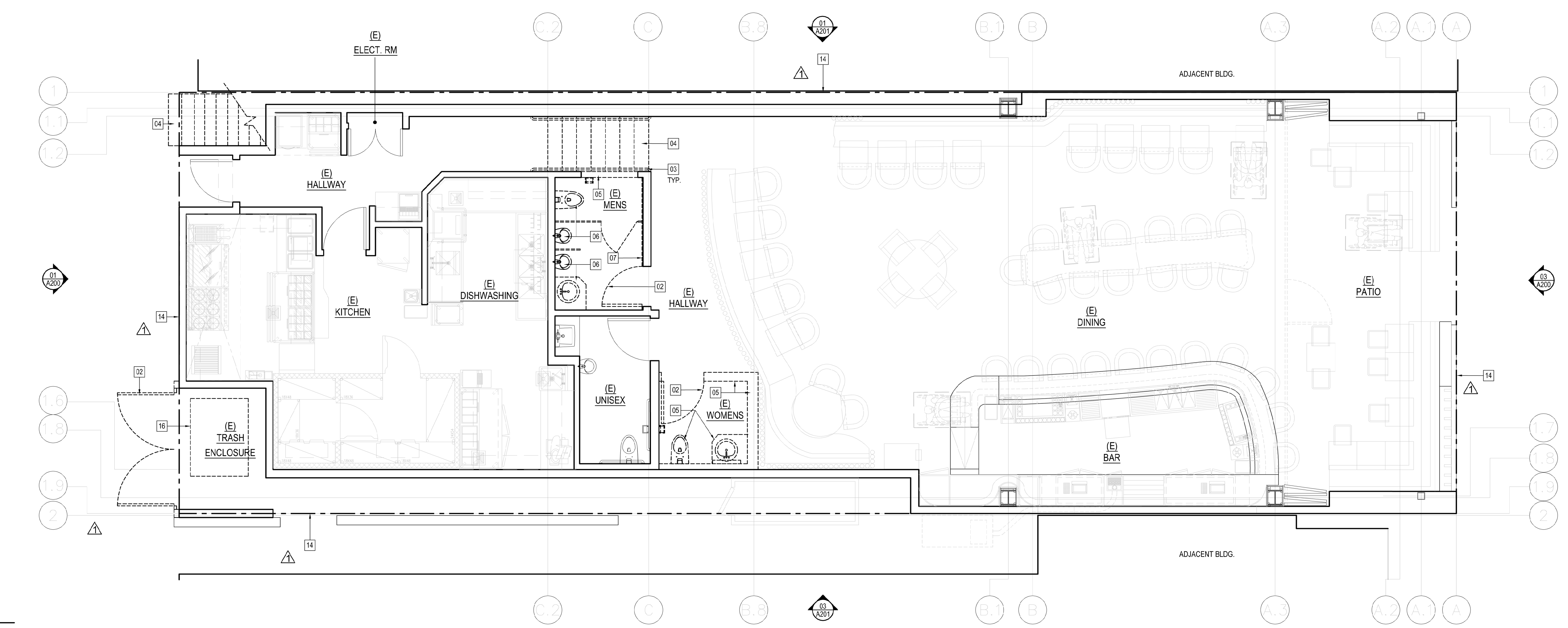
- 01 (E) WINDOW TO BE DEMO
- 02 (E) DOOR TO BE DEMO
- 03 (E) STAIR HANDRAIL TO BE DEMO
- 04 (E) STAIRS TO BE DEMO
- 05 (E) WALL TO BE DEMO
- 06 (E) FIXTURE TO BE DEMO
- 07 (E) FINISH MATERIAL TO BE DEMO
- 08 (N) WALL TO MATCH ADJACENT, EXISTING WALL
- 09 LINE OF STAIRS ABOVE
- 10 (N) STAIR HANDRAIL REFER TO HC-1/24 FOR MORE INFO
- 11 (N) STAIRS REFER TO HC-1/12 FOR MORE INFO
- 12 (N) ELEVATOR REFER TO MFR. SPECS FOR MORE INFO
- 13 (N) DOOR
- 14 PROPERTY LINE
- 15 (N) OVERHEAD ROLL-UP DOOR, REFER TO SHEET A700 DOOR SCHED. FOR MORE INFO.
- 16 (E) TRASH BIN TO BE REPLACED
- 17 (N) 64 GALLON ORGANIC CART
- 18 (N) 3 CUBIC YARD LANDFILL TRASH BIN
- 19 (N) 1.67 CUBIC YARD CUSTOM RECYCLING BIN

FIRST FLOOR DEMO PLAN 1/4" = 1'-0" 01

A100

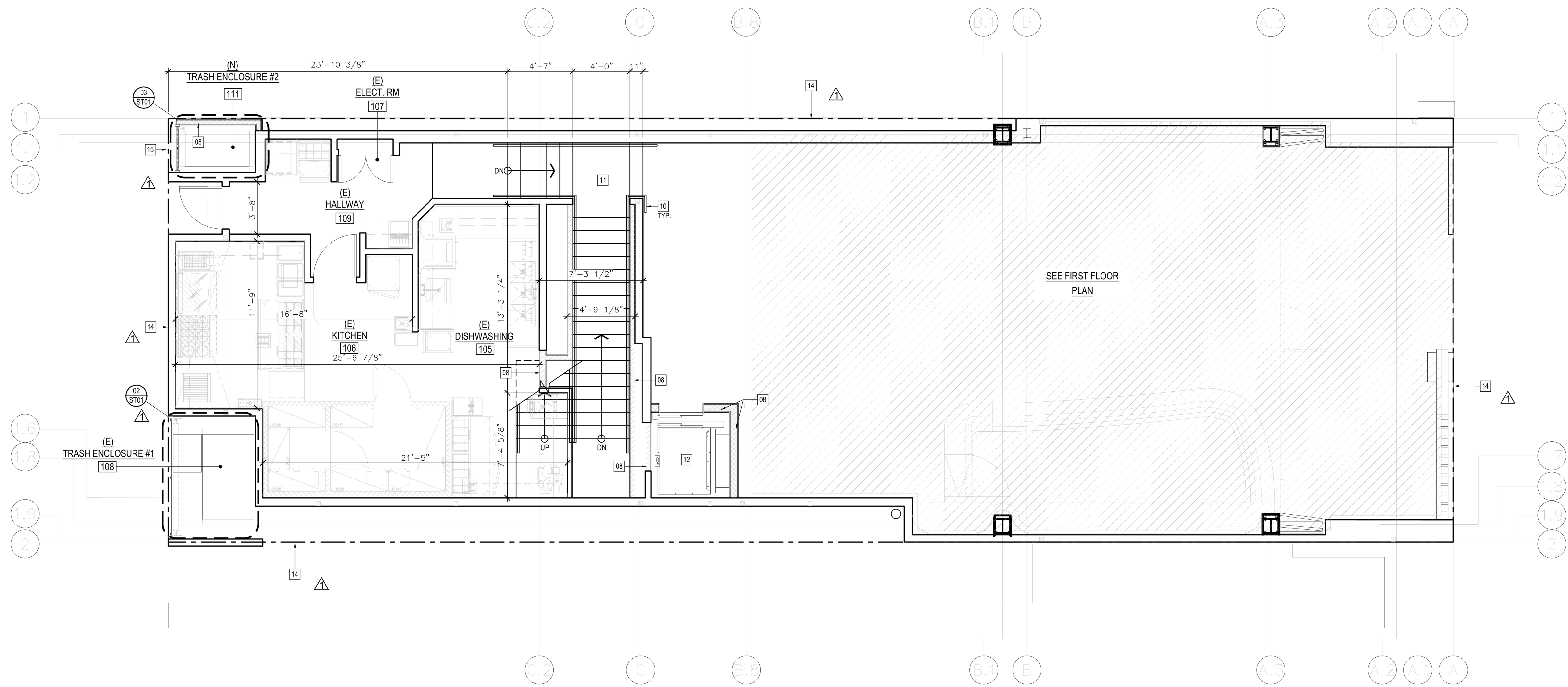


FIRST FLOOR PROPOSED PLAN 1/4" = 1'-0" 02



FIRST FLOOR DEMO PLAN 1/4" = 1'-0" 01

A100



- 01 (E) WINDOW TO BE DEMO
- 02 (E) DOOR TO BE DEMO
- 03 (E) STAIR HANDRAIL TO BE DEMO
- 04 (E) STAIRS TO BE DEMO
- 05 (E) WALL TO BE DEMO
- 06 (E) FIXTURE TO BE DEMO
- 07 (E) FINISH MATERIAL TO BE DEMO
- 08 (M) WALL TO MATCH ADJACENT, REFER TO STRUCTURAL DRWS. FOR MORE INFO
- 09 (E) KITCHEN EQUIPMENT TO BE DEMO
- 10 (M) STAIR HANDRAIL REFER TO HC-124 FOR MORE INFO
- 11 (M) STAIRS REFER TO HC-112 FOR MORE INFO
- 12 (M) ELEVATOR REFER TO MFR. SPECS FOR MORE INFO
- 13 (M) DOOR
- 14 PROPERTY LINE
- 15 (M) OVERHEAD ROLL UP DOOR, REFER TO DOOR SCHEDULE FOR MORE INFO

- DEMO
- (E) WOOD STUD WALL TO REMAIN
- (N) GALVANIZED MTL. WALL (REFER TO SHEET A102 FOR WALL TYPES)
- (N) WOOD STUD WALL (REFER TO SHEET A102 FOR WALL TYPES)

1.5 FLOOR PROPOSED PLAN 1/4" = 1'-0" 02

KEYNOTES

r h a
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Michael David Robinson: C-20731
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Owner

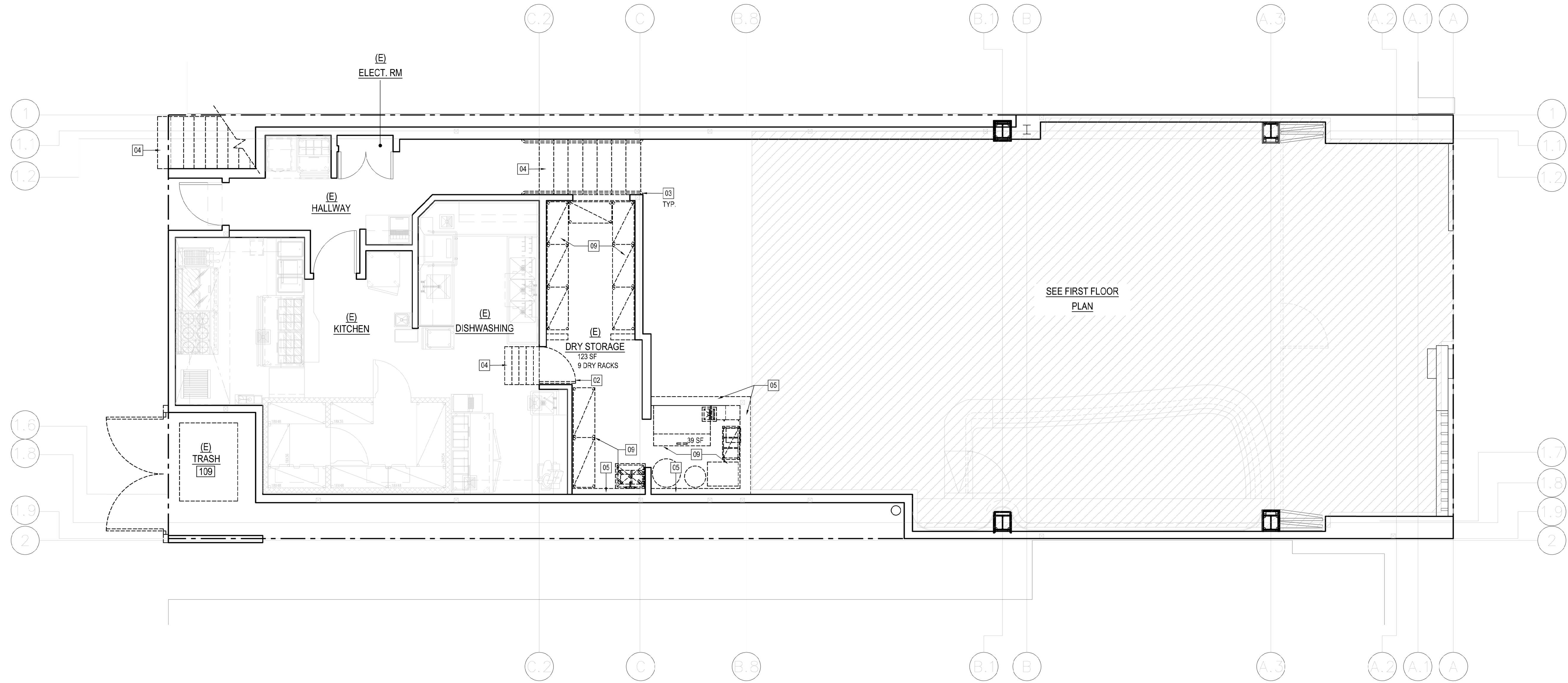
Consultant



Submittal Dates
 ENTITLEMENT SUBMITTAL 06.08.23
 ENTITLEMENT RE SUB. 04.04.24
 ENTITLEMENT RE SUB. 06.17.24

Rev.	Description	Date
1	P.C. CORRECTIONS 04.04.24	
2	P.C. CORRECTIONS 06.17.24	

LEGEND



1.5 FLOOR DEMO PLAN 1/4" = 1'-0" 01

Project Info. Address

ENTITLEMENT

ESPERANZA

309 MANHATTAN BEACH BLVD.
 MANHATTAN BEACH, CA 90266

Sheet Title

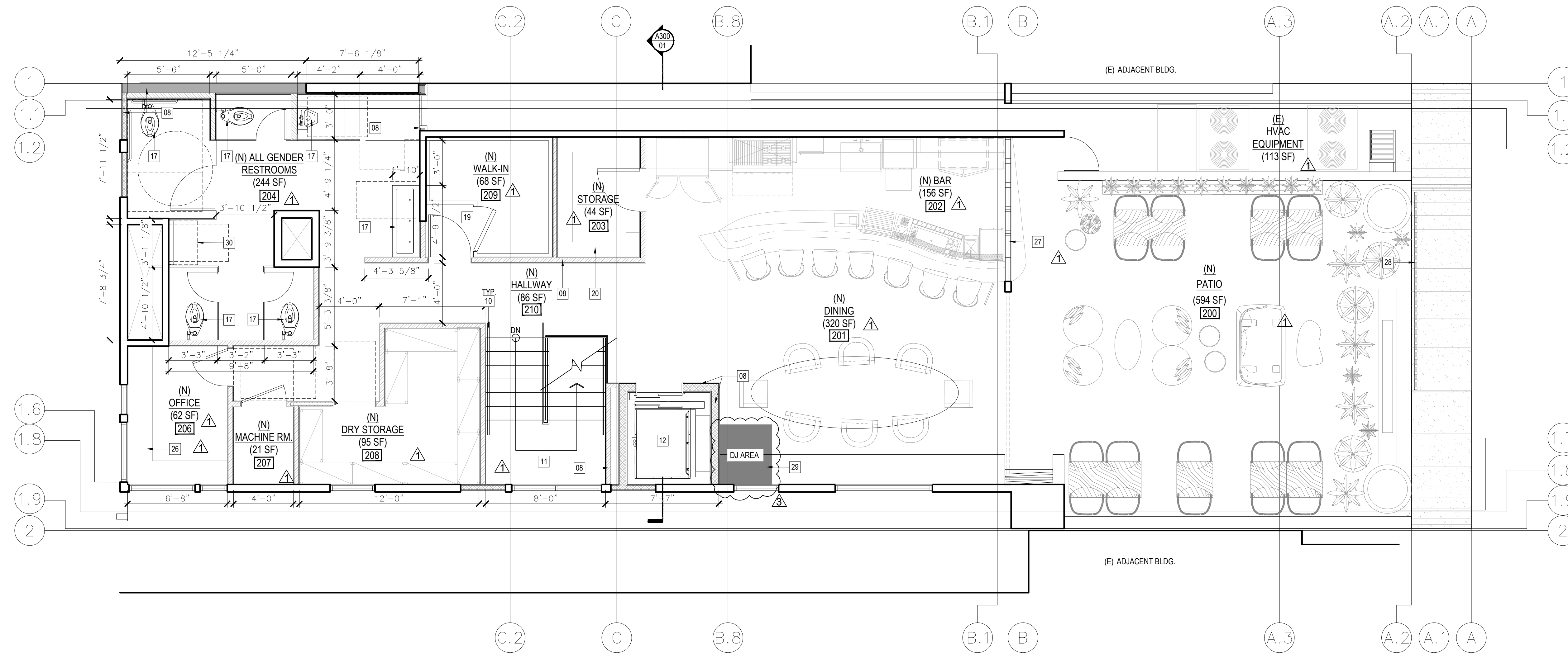
1.5 FLOOR
 DEMO & PROPOSED PLAN

Job Number:
 22RHA1098

Date:
 03.20.23

Sheet No.:

A101



- 01 (E) WINDOW TO BE DEMO
- 02 (E) DOOR TO BE DEMO
- 03 (E) STAIR HANDRAIL TO BE DEMO
- 04 (E) STAIRS TO BE DEMO
- 05 (E) WALL TO BE DEMO
- 06 (E) FUTURE TO BE DEMO
- 07 (E) FINISH MATERIAL TO BE DEMO
- 08 (N) WALL TO MATCH ADJACENT, REFER TO STRUCTURAL DRWS. FOR MORE INFO
- 09 (E) CURB TO BE DEMO
- 10 (N) STAIR HANDRAIL REFER TO HC-124 FOR MORE INFO
- 11 (N) STAIRS REFER TO HC-112 FOR MORE INFO
- 12 (N) ELEVATOR LULUA ELEVATOR BY ARROW LIFT
- 13 (E) CLOSET TO BE DEMO
- 14 (E) SHELVING TO BE DEMO
- 15 (E) SHOWER TO BE DEMO
- 16 (N) POCKET DOOR, REFER TO DOOR SCHEDULE FOR MORE INFO
- 17 (N) RESTROOM FIXTURE
- 18 (N) DOOR, REFER TO DOOR SCHEDULE FOR MORE INFO
- 19 (N) WALK-IN COOLER
- 20 (N) LIQUOR SHELF
- 21 (E) ROOM DIVIDER TO BE DEMO
- 22 (E) EQUIPMENT TO BE DEMO
- 23 (E) COUNTER TO BE DEMO
- 24 (E) KITCHEN ISLAND TO BE DEMO
- 25 (E) GAS FIRE PIT TO REMAIN
- 26 (N) MILLWORK
- 27 (N) PASS THROUGH WINDOW
- 28 (N) GLASS PANEL W/ MIN STC RATING OF 30 FOR NOISE MITIGATION
- 29 (N) DJ AREA
- 30 (N) BABY CHANGING AREA

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Owner

Consultant

Stamp

Submittal Dates
 ENTITLEMENT SUBMITTAL 06.08.23
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 ENTITLEMENT RE SUB. 06.17.24
 ENTITLEMENT RE SUB. 08.13.24

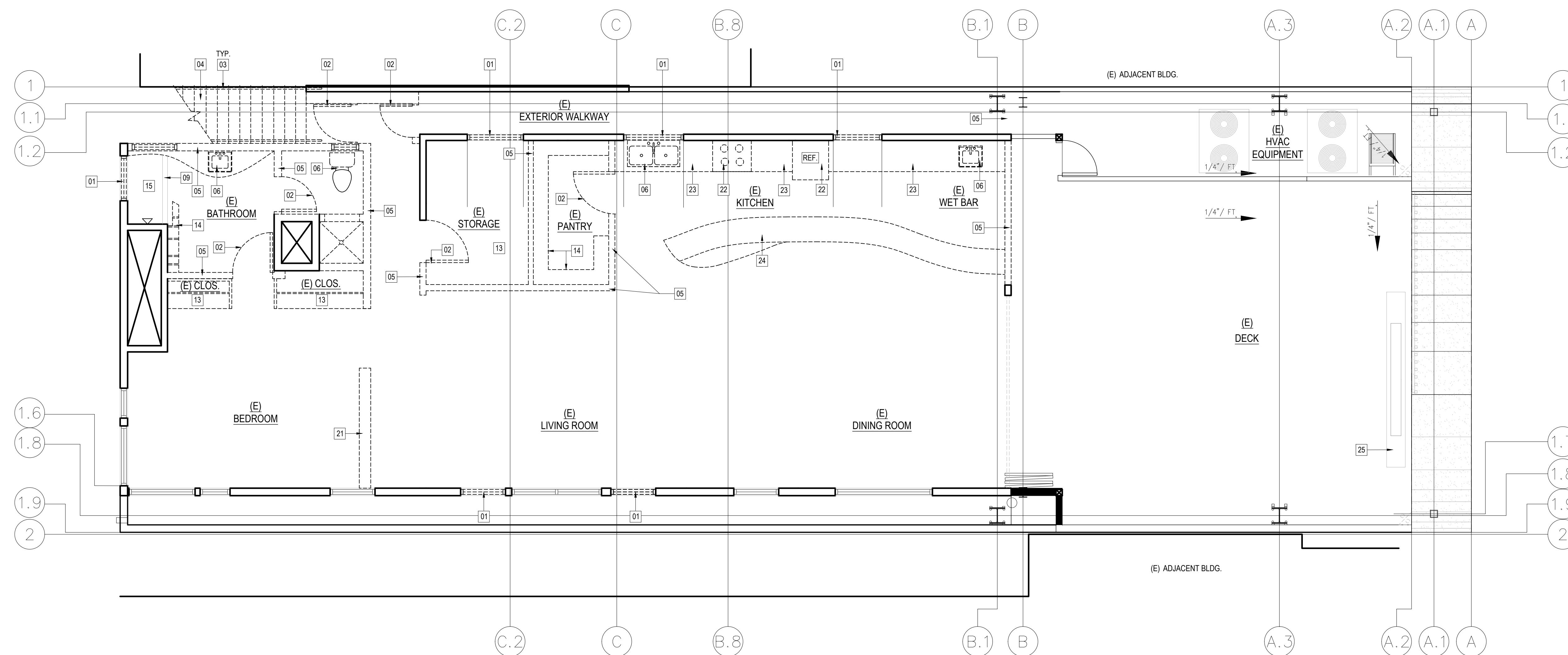
KEYNOTES

Rev.	Description	Date
△	P.C. CORRECTIONS	04.04.24
△	P.C. CORRECTIONS	06.17.24
△	P.C. CORRECTIONS	08.13.24

SECOND FLOOR PROPOSED PLAN 1/4" = 1'-0" 02

- DEMOS
- (E) WOOD STUD WALL TO REMAIN
- (N) GALVANIZED MTL. WALL (REFER TO SHEET A102 FOR WALL TYPES)
- (N) WOOD STUD WALL (REFER TO SHEET A102 FOR WALL TYPES)

LEGEND



SECOND FLOOR DEMO PLAN 1/4" = 1'-0" 01

Project Info. Address

ENTITLEMENT

ESPERANZA

309 MANHATTAN BEACH BLVD.
MANHATTAN BEACH, CA 90266

Sheet Title

SECOND FLOOR DEMO & PROPOSED PLAN

Job Number:
 22RHA1098

Date:
 03.20.23

Sheet No.:

A102



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Owner

Consultant



Submittal Dates
 ENTITLEMENT SUBMITTAL 06.08.23

KEYNOTES
 ENTITLEMENT RE SUB. 04.04.24
 ENTITLEMENT RE SUB. 06.17.24
 ENTITLEMENT RE SUB. 08.12.24

HEIGHT CALCULATION
 FORMULA:
 COR. 1 + COR. 2 + COR. 3 + COR. 4 / 4 = DISTRICT III HT. LIMIT = MAX HT. ELEV.
 CALCULATION:
 [100.00 + 101.65 + 104.75 + 106.90] / 4 = 103.33 + 26 = 129.33' (MAX HT. ELEV.)

Rev.	Description	Date
1	P.C. CORRECTIONS	04.04.24
2	P.C. CORRECTIONS	06.17.24
3	P.C. CORRECTIONS	08.13.24

Project Info. Address

ENTITLEMENT
 SHEET TITLE
 NORTH & SOUTH ELEVATION PLAN
 ESPERANZA
 309 MANHATTAN BEACH BLVD.
 MANHATTAN BEACH, CA 90266

Job Number:
22RHA1098

Date:
03.20.23

Sheet No.:

NOTES

1. PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT

LEGEND

ENTITLEMENT

LEGEND

ENTITLEMENT

LEGEND

ENTITLEMENT

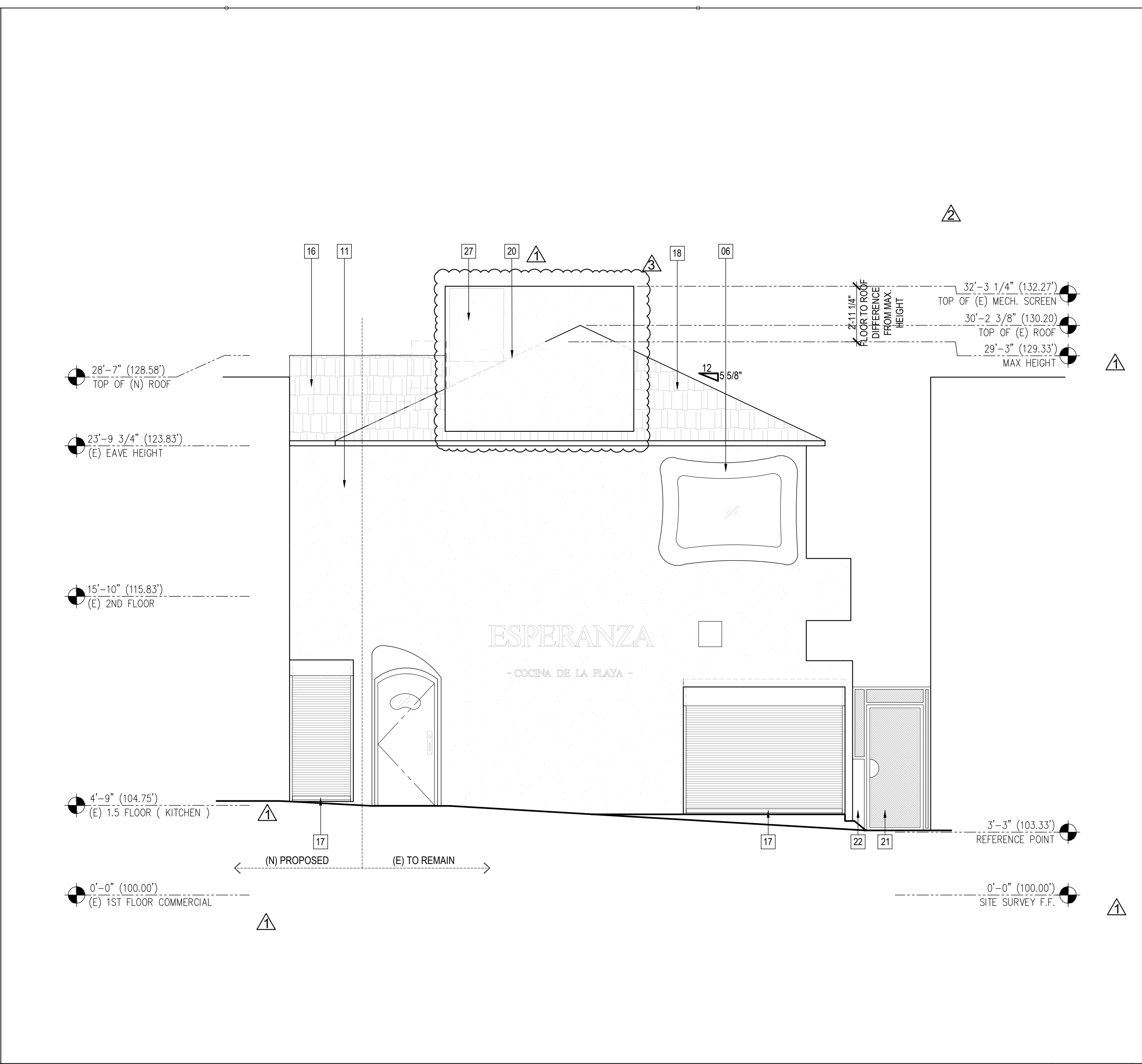
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ENTITLEMENT

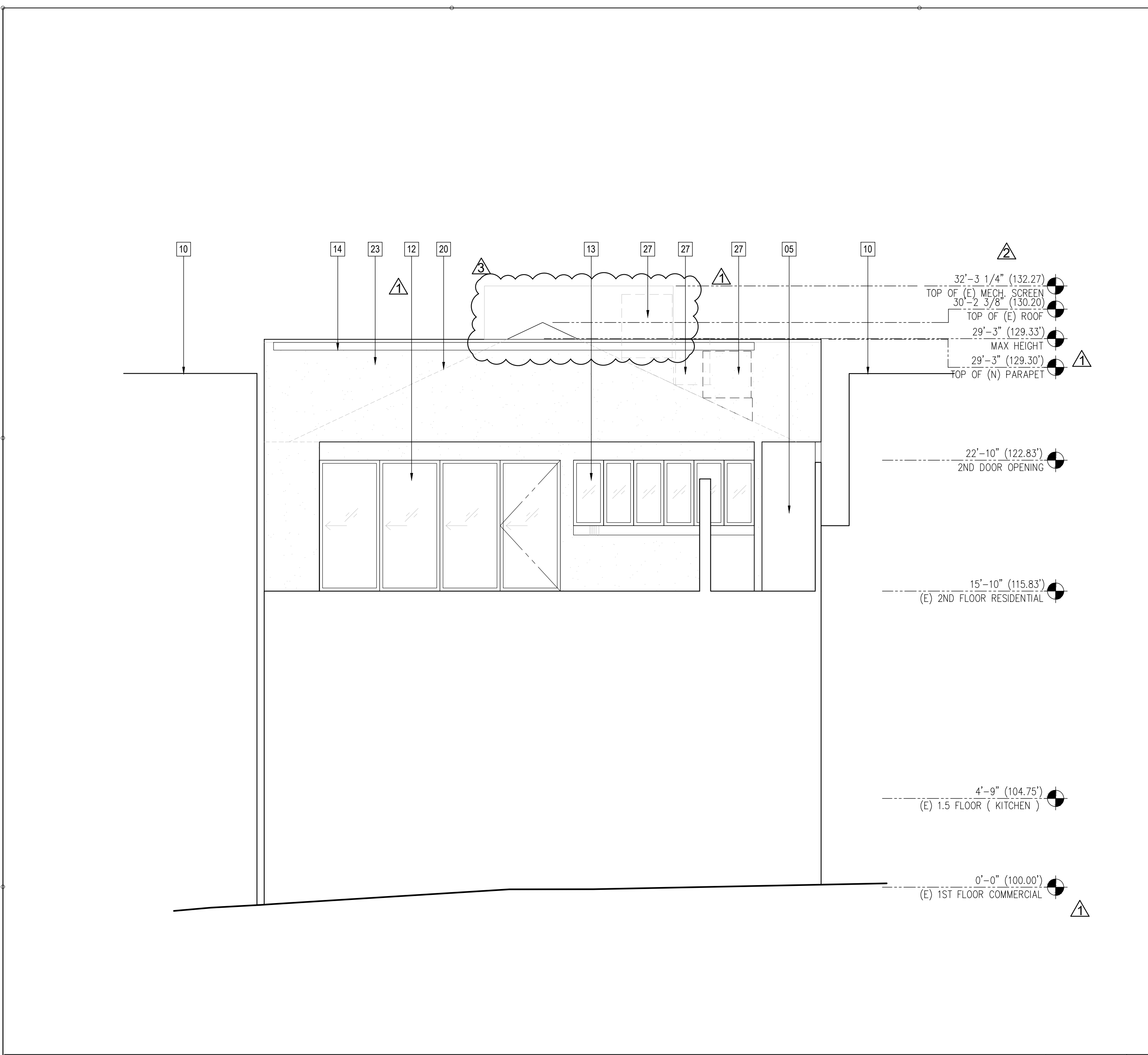
LEGEND

ENTITLEMENT

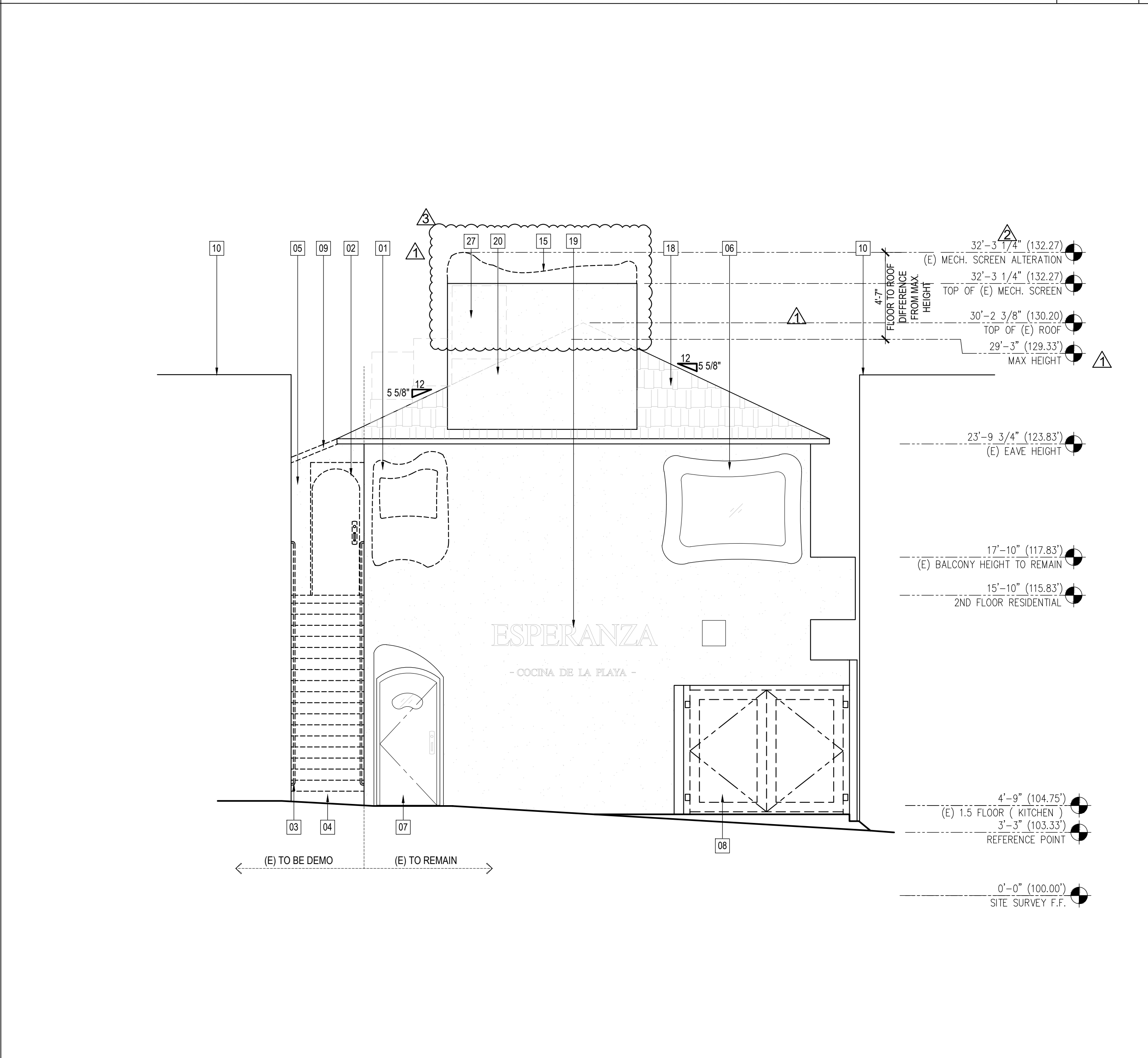
- 01 (E) WINDOW TO BE DEMO
- 02 (E) DOOR TO BE DEMO
- 03 (E) STAIR HANDRAIL TO BE DEMO
- 04 (E) STAIRS TO BE DEMO
- 05 (E) WALL TO BE DEMO
- 06 (E) WINDOW TO REMAIN
- 07 (E) DOOR TO REMAIN
- 08 (E) TRASH ENCLOSURE DOOR TO DEMOLISHED
- 09 (E) ROOF TO BE DEMO
- 10 (E) ADJACENT BUILDING
- 11 (N) WALL TO MATCH ADJACENT. REFER TO STRUCTURAL DRWS. FOR MORE INFO
- 12 (E) FOLDING DOOR SYSTEM TO REMAIN
- 13 (E) FOLDING WINDOW SYSTEM
- 14 (N) RETRACTABLE CANOPY SYSTEM
- 15 (E) MECH. EQUIP. SCREEN ALTERATION TO BE REMOVED
- 16 (N) SLOPED ROOF, REFER TO STRUCTURAL DRWS. FOR MORE INFO
- 17 (N) ALUM. OVERHEAD ROLL-UP DOOR
- 18 (E) ROOF TO REMAIN
- 19 (E) SIGN TO REMAIN
- 20 LINE OF (E) ROOF BEYOND
- 21 (E) SIDE GATE TO REMAIN
- 22 (E) LOW BLOCK WALL TO REMAIN
- 23 (N) SECOND FLOOR ROOF PARAPET
- 24 (N) GLASS PANEL W/ MIN STC RATING OF 30 FOR NOISE MITIGATION
- 25 (E) METAL SLATS TO REMAIN
- 26 (E) ACRYLIC PANEL AND ALUM. FRAME TO REMAIN
- 27 (E) MECHANICAL EQUIPMENT BEYOND TO REMAIN



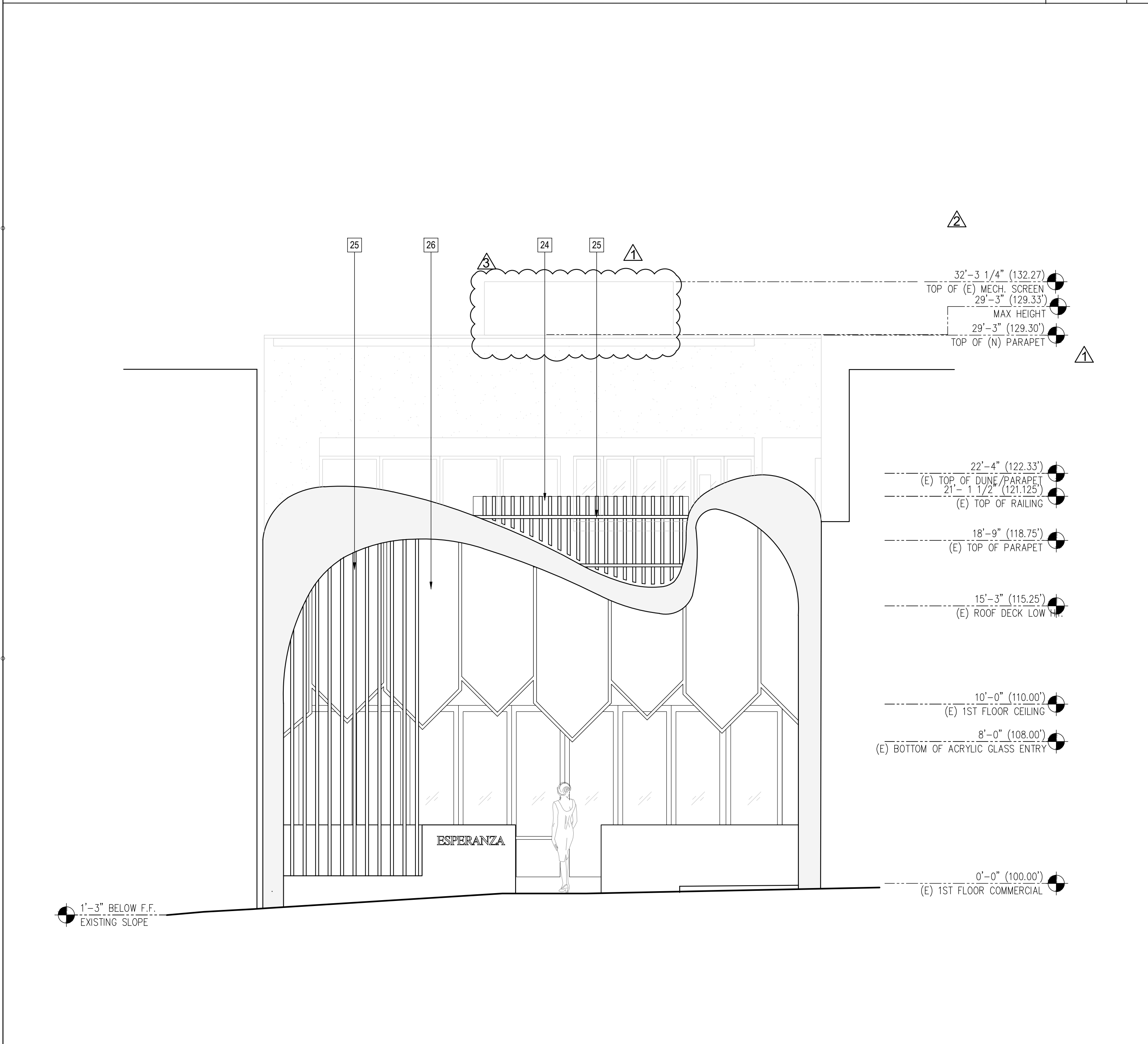
PROPOSED NORTH ELEVATION 1/4" = 1'-0" 02



PROPOSED SOUTH ELEVATION- SECOND FLOOR 1/4" = 1'-0" 04



NORTH ELEVATION DEMO 1/4" = 1'-0" 01



PROPOSED SOUTH ELEVATION- FIRST FLOOR ENTRY 1/4" = 1'-0" 03

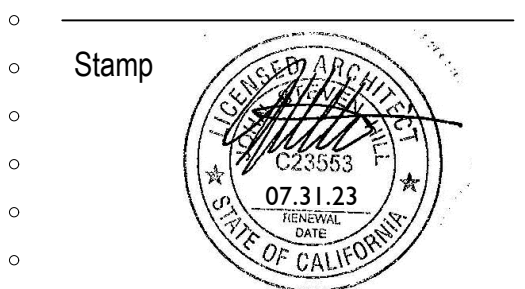
A200

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Owner

Consultant



Submittal Dates
 ENTITLEMENT SUBMITTAL 06.08.23
 ENTITLEMENT RE SUB. 04.04.24
 ENTITLEMENT RE SUB. 06.17.24
 ENTITLEMENT RE SUB. 08.12.24

Rev.	Description	Date
▲	P.C. CORRECTIONS	04.04.24
▲	P.C. CORRECTIONS	06.17.24
▲	P.C. CORRECTIONS	08.12.24

Project Info. Address

ESPERANZA
 309 MANHATTAN BEACH BLVD.
 MANHATTAN BEACH, CA 90266

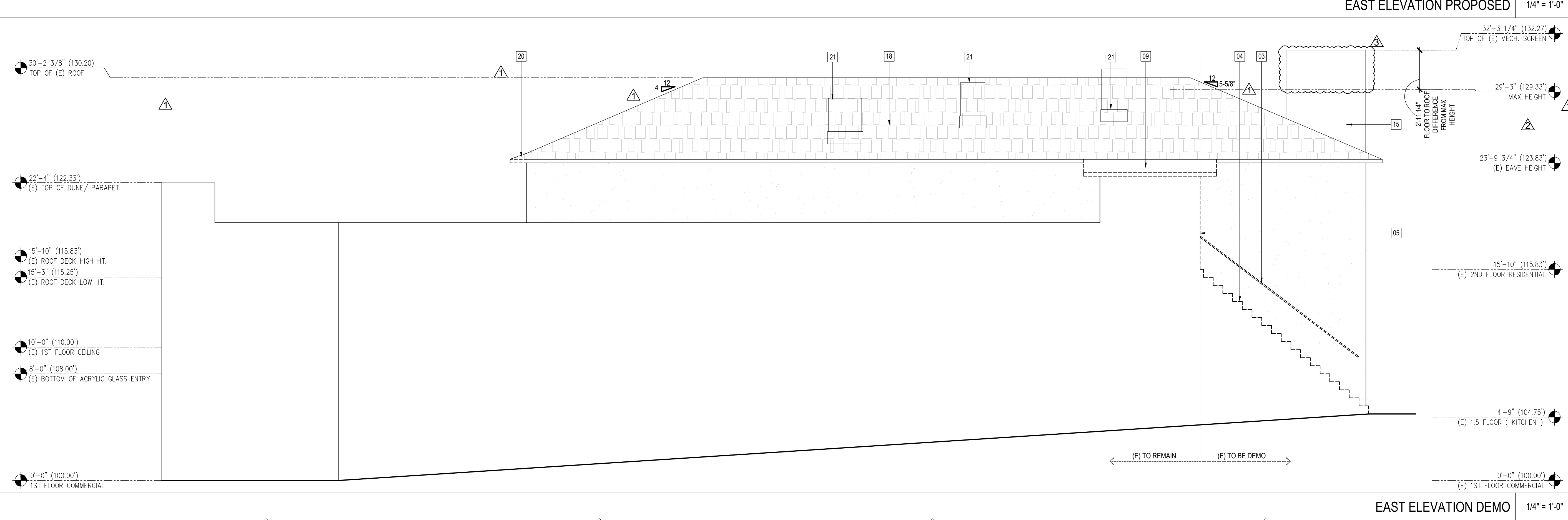
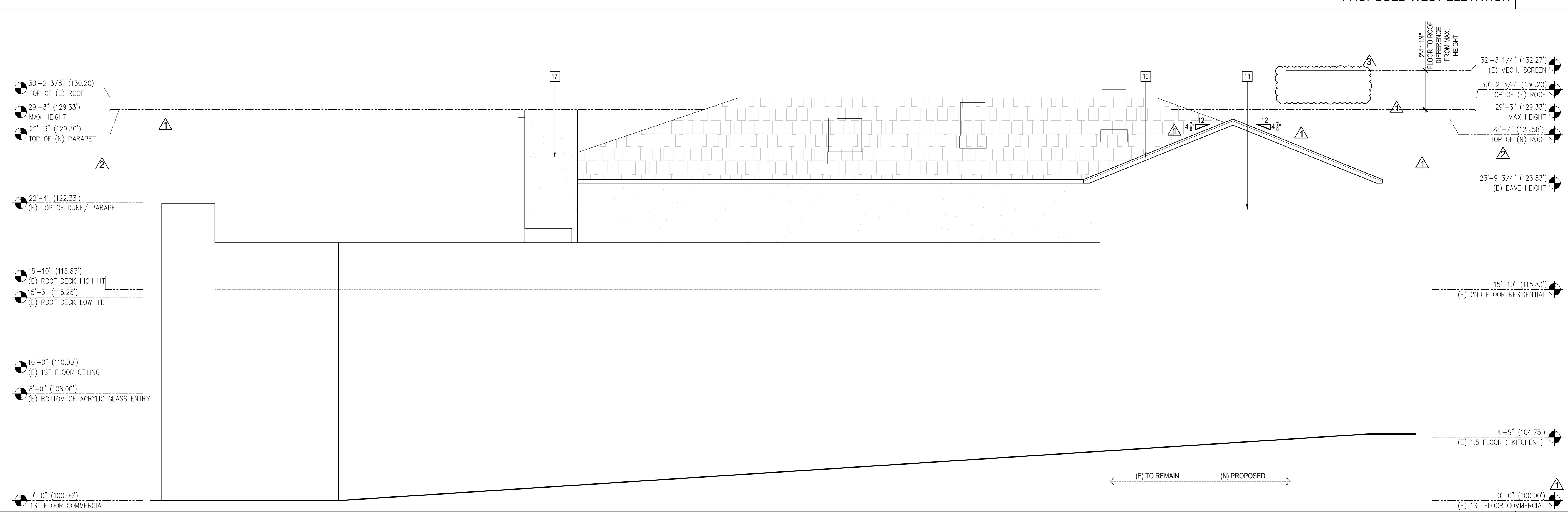
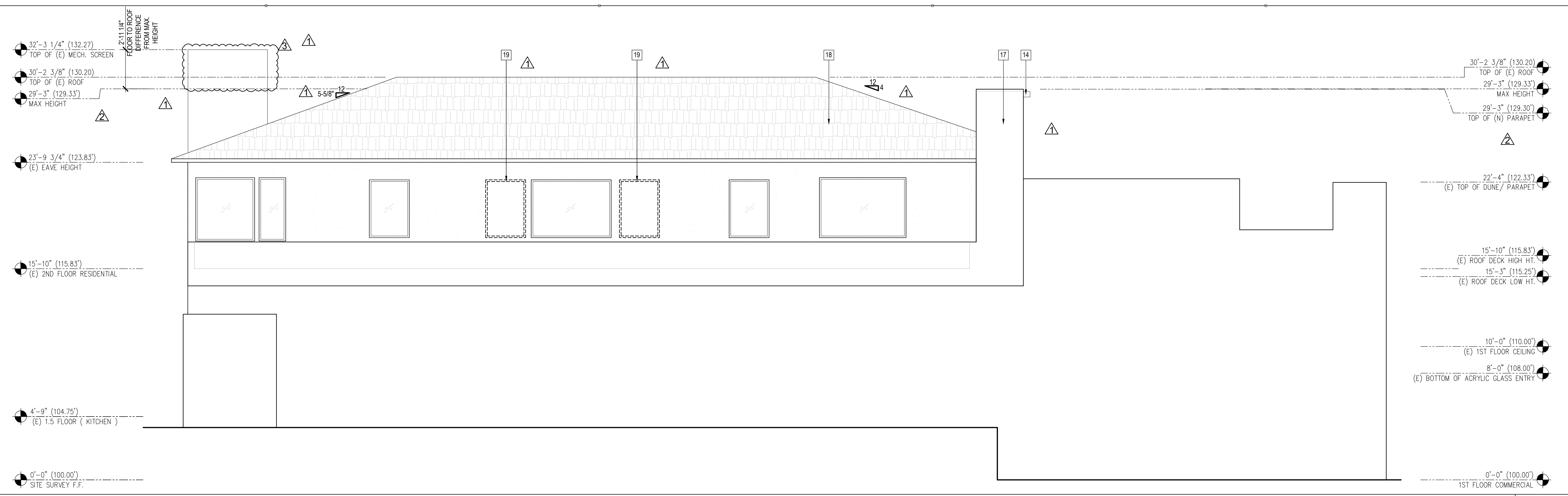
ENTITLEMENT

Sheet Title

EAST AND WEST ELEVATION PLAN

Job Number:
 22RHA1098
 Date:
 03.20.23
 Sheet No.:

A201



NOTES



robinson hill architecture, inc.

A California Corporation
3195-B Airport Loop Dr.
Costa Mesa, CA 92626
tel. 714-825-8888
fax 714-825-8889
web www.rhinc.net

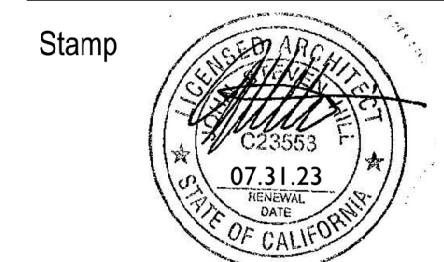
Michael David Robinson: C-20731
John Steven Hill: C-23553

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Owner

Consultant



Submittal Dates

ENTITLEMENT SUBMITTAL 06.08.23

ENTITLEMENT RE SUB. 04.04.24

ENTITLEMENT RE SUB. 06.17.24

KEYNOTES

HEIGHT CALCULATION

FORMULA:
COR. 1 + COR. 2 + COR. 3 + COR. 4 / 4 = DISTRICT III HT. LIMIT = MAX HT. ELEV.

CALCULATION:
 $100.00 + 101.65 + 104.75 + 106.90/4 = 103.33 + 26 = 129.33$ (MAX HT. ELEV)

Rev. Description Date

△ P.C. CORRECTIONS 04.04.24

△ P.C. CORRECTIONS 06.17.24

HEIGHT CALCULATION

Project Info. Address

ESPERANZA
309 MANHATTAN BEACH BLVD.
MANHATTAN BEACH, CA 90266

ENTITLEMENT

Sheet Title

BUILDING SECTIONS

Job Number: 22RHA1098

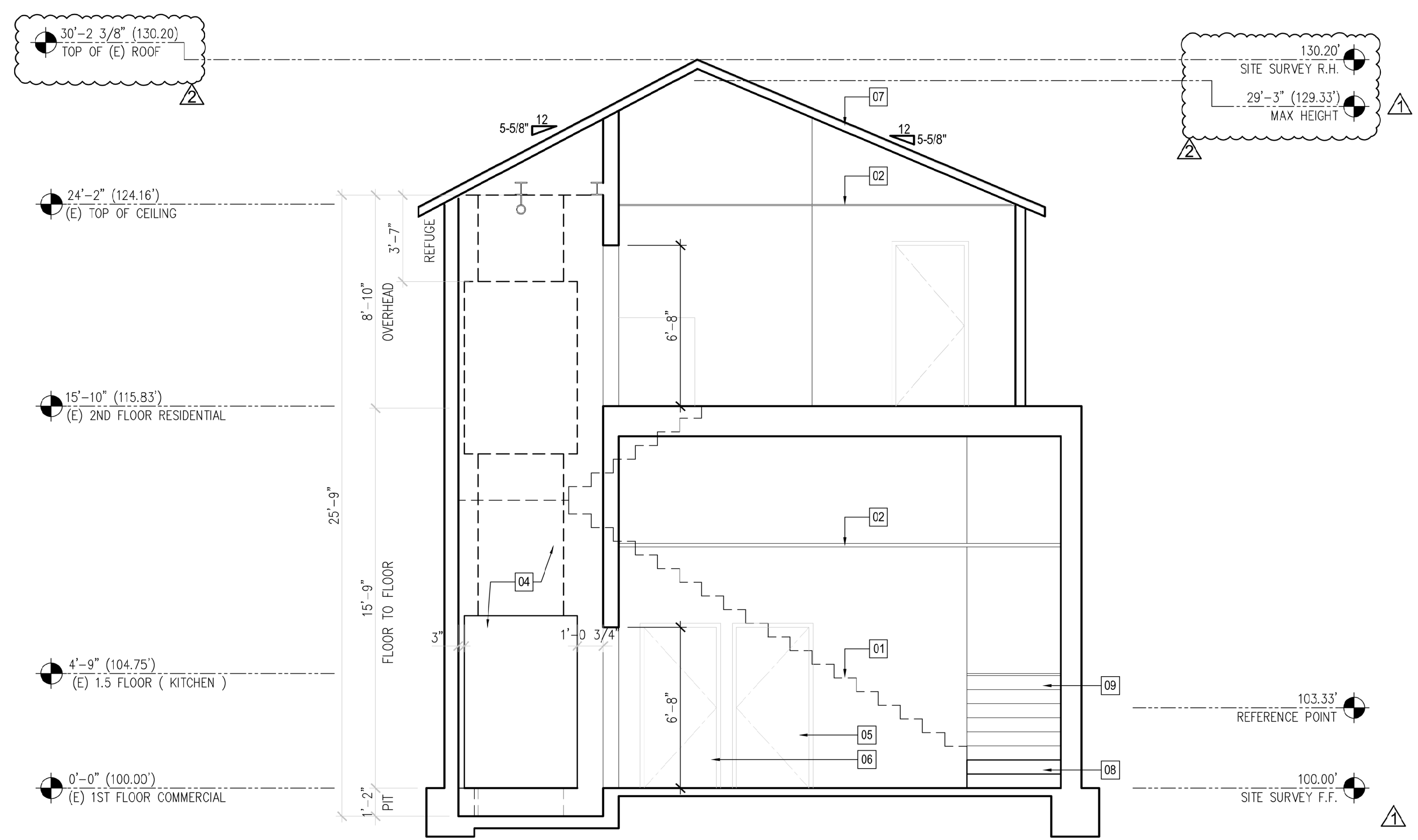
Date: 03.20.23

Sheet No.:

A300

03

1. PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT



SECTION A 1/4" = 1'-0" 01

NOTES

ARROW LIFT
 Business: (559) 322-1901
 Toll Free: 1-888-815-4387
 Fax: (559) 323-6160

Reviewed By (please print): _____ Approved:
 Date: _____ Approved as Noted:
 Signature: _____

Signature indicates that you have reviewed all attached pages and acknowledge responsibility for Work By Others and for the equipment configuration. Drawings are for fabrication purposes and may not be indicative of exact site layout. Equipment will not be released for manufacturing until signed drawings are returned to Arrow Lift. Projected Dates are used for Arrow Lift and manufacturing scheduling purposes.

Projected Site Ready for Lift Date: _____
 Projected Electrical Rough-In Completion Date: _____
 Verify Floor to Floor Measurement: _____

Project Manager
 Elaine Hinrichs
 (559) 353-4330
 Elaine.Hinrichs@ArrowLift.com

TABLE OF CONTENTS

- Page 1 of 9: Cover Page (Current Page)
- Page 2 of 9: Specifications
- Page 3 of 9: Elevator Plan View
- Page 4 of 9: Hoistway Section View
- Page 5 of 9: Rail Wall Elevation View
- Page 6 of 9: Landing Door Elevation View
- Page 7 of 9: Machine Room Plan View
- Page 8 of 9: Hoistway Construction Plan
- Page 9 of 9: Rail Backing

TRADE NOTES BY COLOR

- Red: Electrical
- Magenta: Low Voltage
- Blue: Framing/General Construction
- Green: Structural/Loading

FINAL DRAWING
 #34827-L

REV	DATE	BY	DESCRIPTION	TITLE	SCALE
RO	02/16/23	LW	NEW DRAWING	ARROW LIFT ELEVATOR SHOPS - COVER PAGE	NONE
R1	08/07/23	LW	RELEASED W/ CHANGES TO TRAVEL	ARROW LIFT ELEVATOR SHOPS - COVER PAGE	NONE

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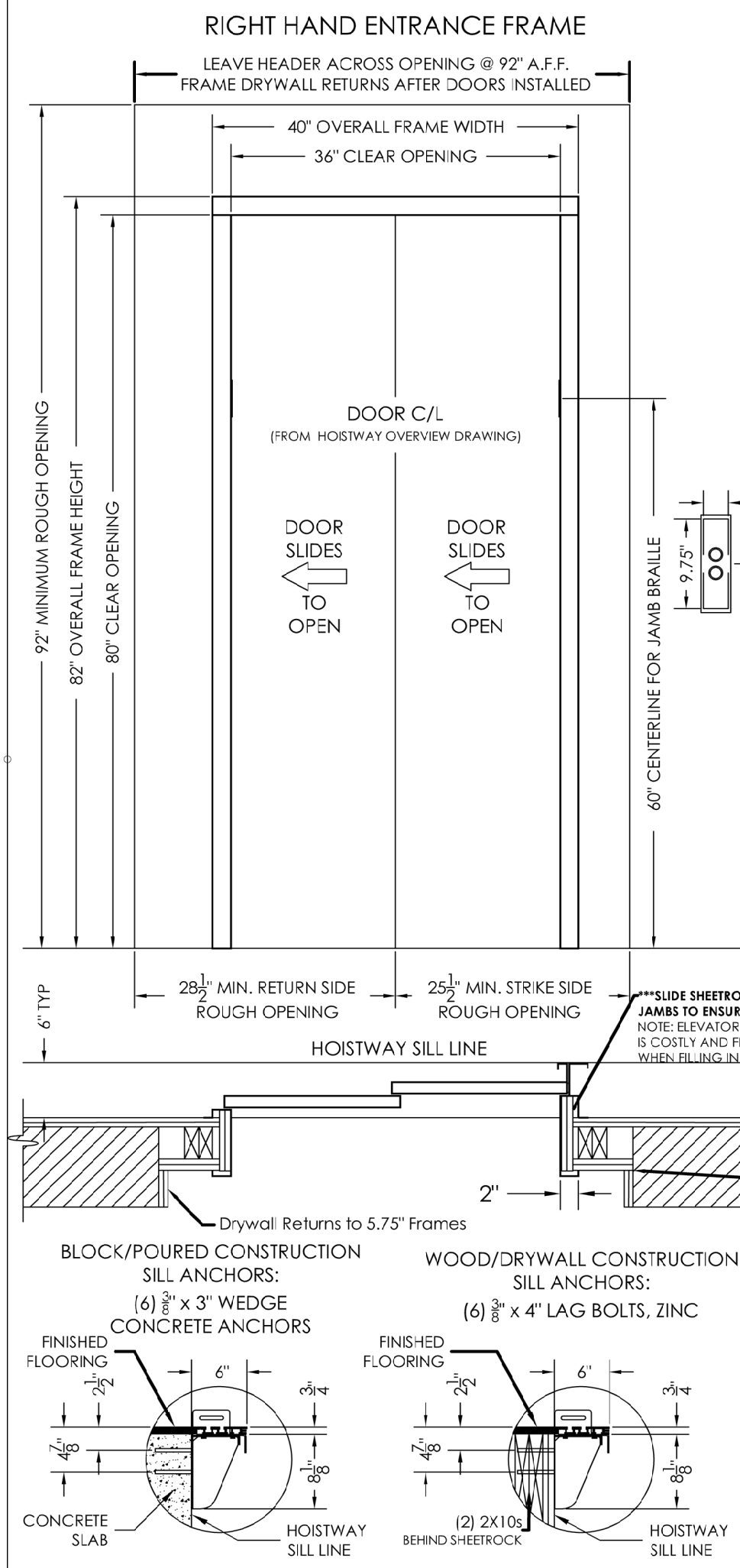
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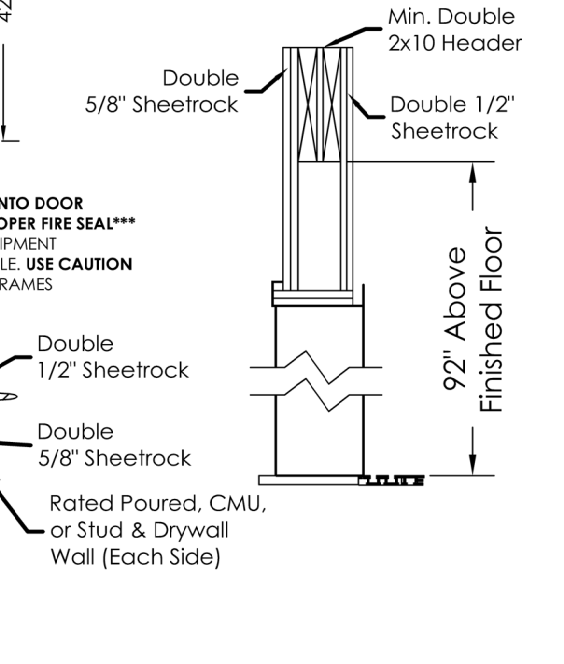
SYMMETRY ELEVATION LU/LA SPECIFICATIONS
 (MANUFACTURED BY BELLA ELEVATOR)

- GENERAL:
- PIT DEPTH: 14"
 - TRAVEL: 192" (MINIMUM 26" BETWEEN STOPS)
 - OVERHEAD: 106"
 - SPEED: 30 FPM
 - LOAD CAPACITY: 1400#
 - CAR/FRAME WEIGHT: 1550#
 - STOPS: 2
 - SINGLE OPENING RAIL LEFT

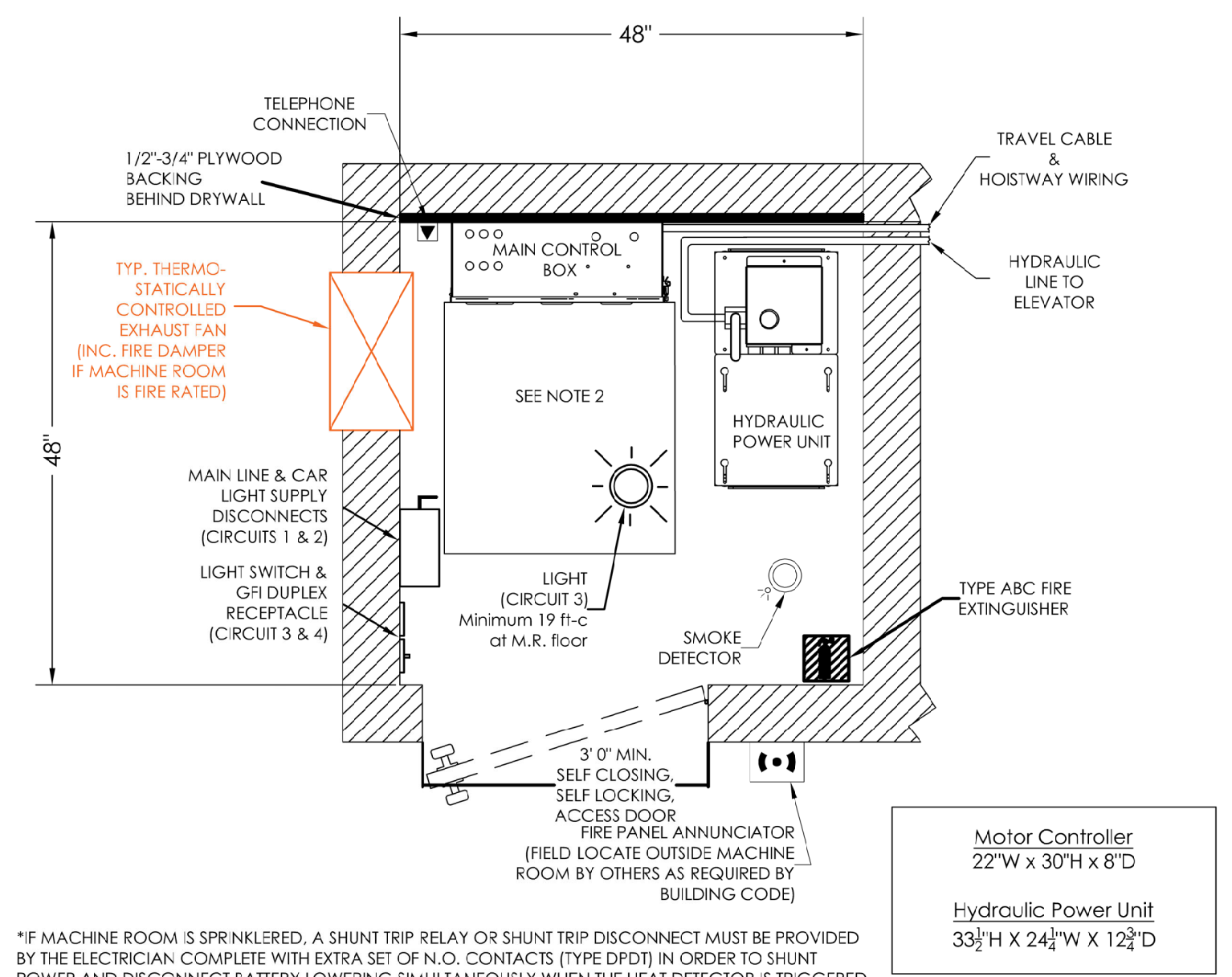
- CAR FEATURES:
- 48" X 54" CLEAR CAR, SINGLE OPENING, RAIL LEFT
 - 7" INTERIOR CAR HEIGHT
 - IVORY POWDER COATED STEEL CAR ENCLOSURE
 - 3" O" X 6" 8" TWO SPEED HORIZONTAL SLIDING CAR DOORS
 - IVORY POWDER COATED STEEL CAR DOORS
 - BRUSHED STAINLESS STEEL CAR ENTRANCE
 - BRUSHED STAINLESS STEEL CAR HANDRAIL
 - UNFIN



- Notes:**
1. Hoistway entrances are manufactured in accordance with 1 1/2 Hr. fire rated construction. Hoistway walls to have a fire endurance rating not less than required by Section 110 (1996) or Section 21 (2000+) ASME A17.1 Elevator Safety Code. Furnishing, installing, and maintaining the required fire rating of elevator hoistway walls, including the penetration of the fire wall by elevator future boxes, is not the responsibility of the elevator contractor or manufacturer.
 2. The interface of the hoistway wall with the hoistway entrance shall be in strict compliance with the entrance manufacturer's requirements in order to retain fire rating and label validity of the elevator hoistway doors and frame.
 3. Hoistway walls at entrances should be left open for the full width of the shaft until after door sills and frames are set in place. If this is not feasible, leave a 54" x 92" H rough opening. Filing and grouting by GC.
 4. The interface of the hoistway wall with the hoistway entrance shall be in strict compliance with the entrance manufacturer's requirements in order to retain fire rating and label validity of the elevator hoistway doors and frame.
 5. Hoistway walls at entrances should be left open for the full width of the shaft until after door sills and frames are set in place. If this is not feasible, leave a 54" x 92" H rough opening. Filing and grouting by GC.
 6. The interface of the hoistway wall with the hoistway entrance shall be in strict compliance with the entrance manufacturer's requirements in order to retain fire rating and label validity of the elevator hoistway doors and frame.



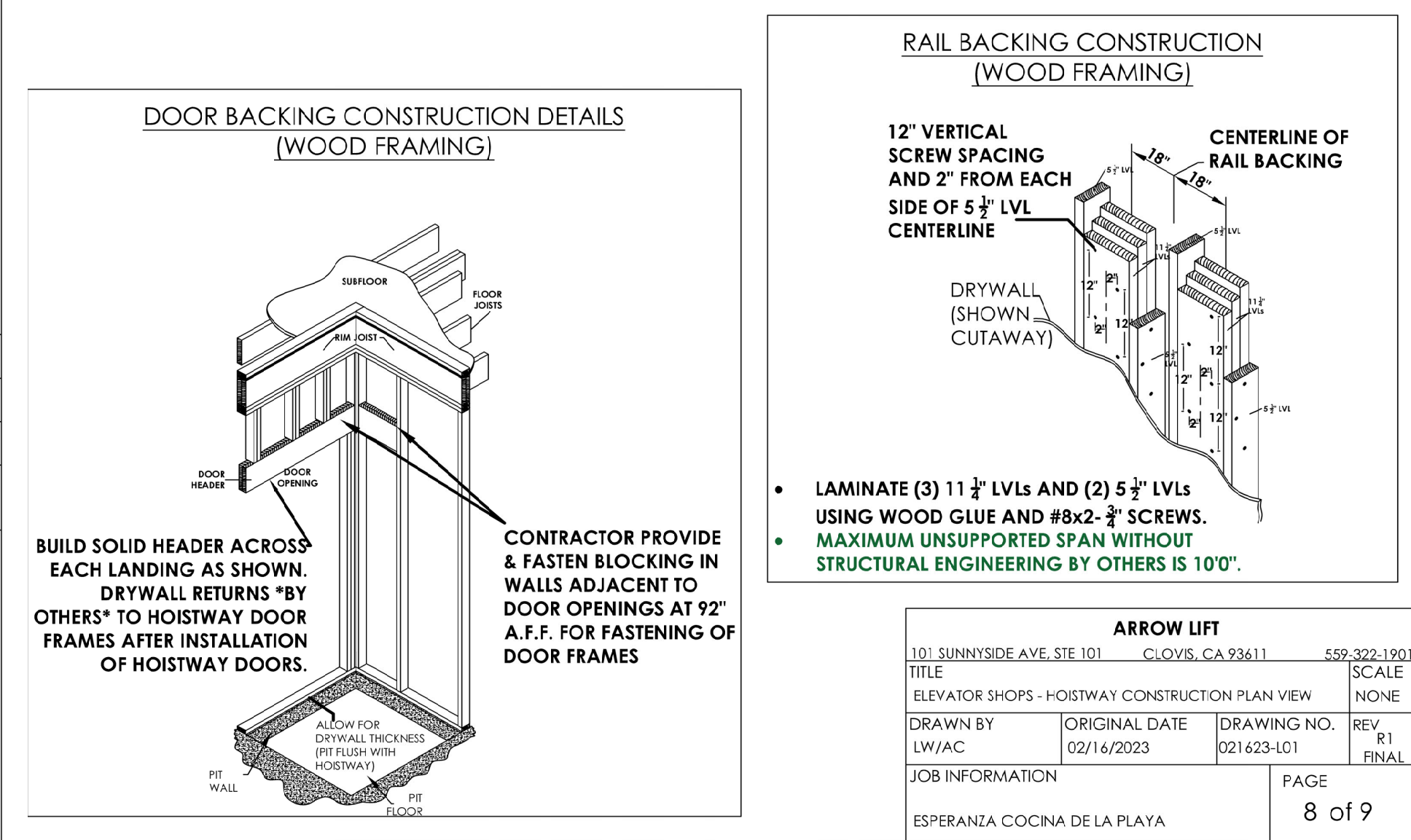
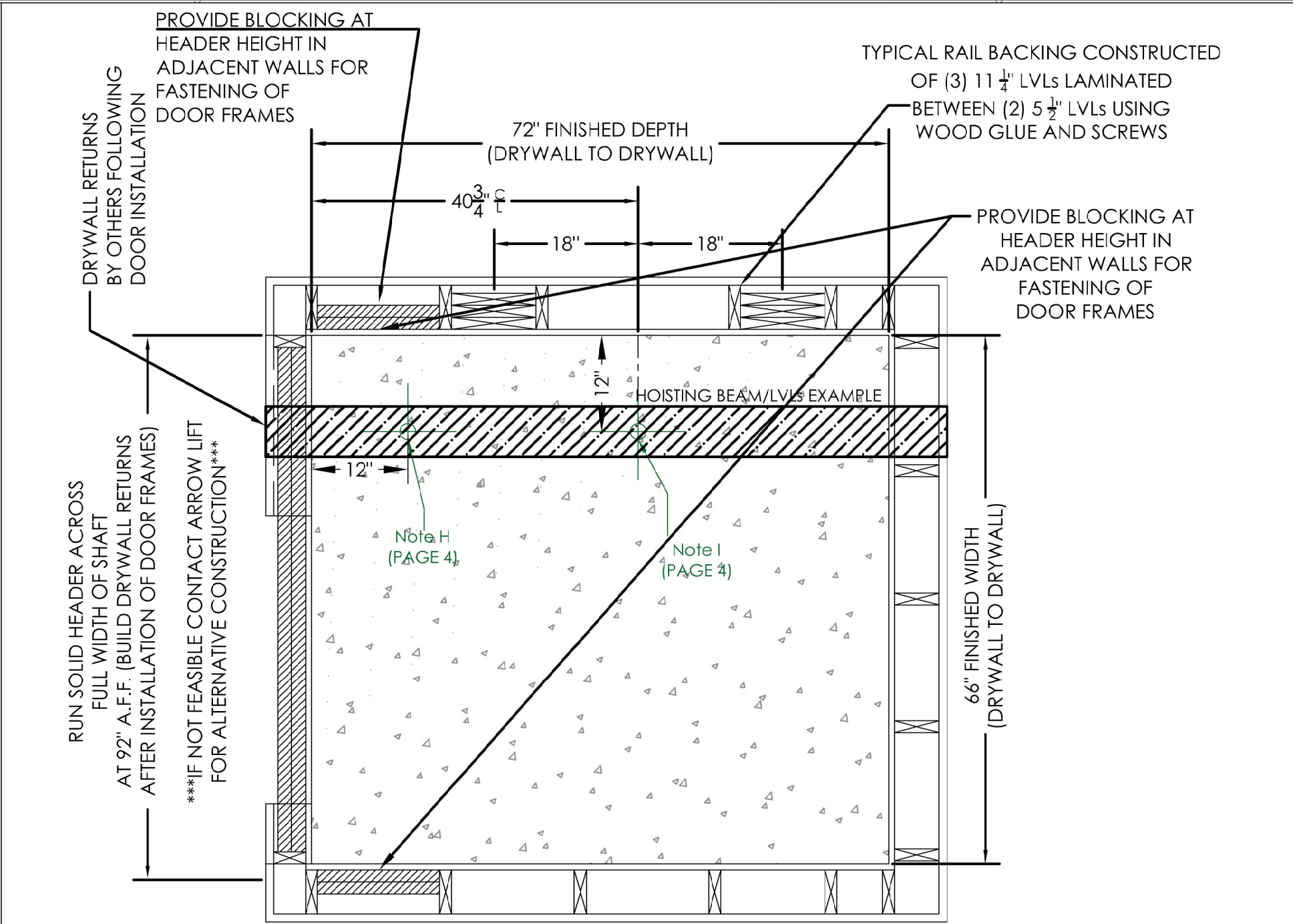
ARROW LIFT	
101 SUNNYSIDE AVE. STE 101	CLAVIS, CA 93811
509.322.1901	
TITLE	SCALE
ELEVATOR SHOPS - LANDING DOOR ELEVATION VIEW (R)	NONE
DRAWN BY	DATE
LW/JAC	02/16/2023
REV.	REVISION
R1	
FINAL	
JOB INFORMATION	PAGE
ESPERANZA COCINA DE LA PLAYA	6 of 9



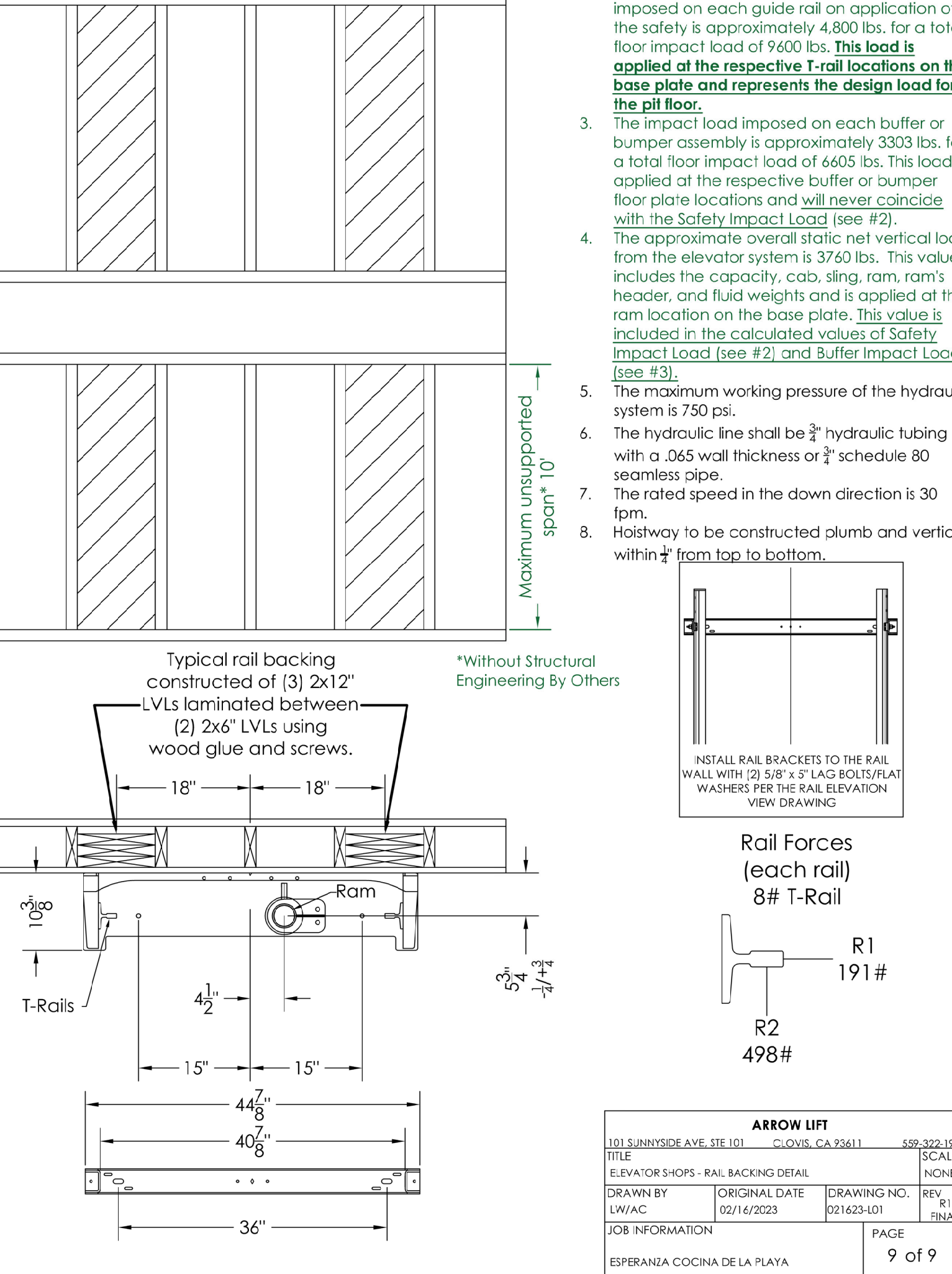
IF MACHINE ROOM IS SPRINKLERED, A SHUNT TRIP RELAY OR SHUNT TRIP DISCONNECT MUST BE PROVIDED BY THE ELECTRICIAN, COMPLETE WITH EXTRA SET OF N.O. CONTACTS (TYPE DPDT) IN ORDER TO SHUNT POWER AND DISCONNECT BATTERY LOWERING SMALLER SIZE WHEN THE HEAT DETECTOR IS TRIGGERED.

- NOTES:**
- 1) THE ELEVATOR MACHINE ROOM LOCATION AND LAYOUT MUST MEET CODE REQUIREMENTS DEFINED BY THE LOCAL AHJ.
 - 2) 30" WIDE X 36" DEEP CLEAR WORKING SPACE REQUIRED IN FRONT OF THE MAIN CONTROL BOX AND DISCONNECTS BY NEC.
 - 3) DISCONNECTS TO BE LOCATED ON THE STRIKE SIDE OF THE MACHINE ROOM DOOR.
 - 4) MAIN LINE DISCONNECT SHALL BE FUSIBLE, CAPABLE OF BEING LOCKED IN THE OPEN POSITION, SIZED FOR THE APPLICATION, AND INCLUDE AUXILIARY CONTACTS THAT OPEN WHEN THE DISCONNECT IS OPENED TO SHUT OFF BATTERY LOWERING OPERATION.
 - 5) LIGHT SWITCH TO BE LOCATED ON THE STRIKE SIDE OF THE MACHINE ROOM DOOR.
 - 6) THE HYDRAULIC POWER UNIT SHALL BE LOCATED WITHIN 40' FROM THE CYLINDER.
 - 7) THE MINIMUM MACHINE ROOM HEADROOM IS 84".
 - 8) PROVIDE NATURAL OR MECHANICAL MEANS TO MAINTAIN MACHINE ROOM FROM 30°F TO 90°F WITH HUMIDITY FROM 5 TO 95% NON-CONDENSING (TYP. THERMOSTATICALLY CONTROLLED EXHAUST FAN), MUST INCLUDE FIRE DAMPERS IF THE BUILDING CODE REQUIRES THE MACHINE ROOM TO BE FIRE RATED.

ARROW LIFT	
101 SUNNYSIDE AVE. STE 101	CLAVIS, CA 93811
509.322.1901	
TITLE	SCALE
ELEVATOR SHOPS - MACHINE ROOM PLAN VIEW 1	NONE
DRAWN BY	DATE
LW/JAC	02/16/2023
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ESPERANZA COCINA DE LA PLAYA	7 of 9



ARROW LIFT	
101 SUNNYSIDE AVE. STE 101	CLAVIS, CA 93811
509.322.1901	
TITLE	SCALE
ELEVATOR SHOPS - HOISTWAY CONSTRUCTION PLAN VIEW	NONE
DRAWN BY	DATE
LW/JAC	02/16/2023
REV.	REVISION
R1	
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ARROW LIFT	
101 SUNNYSIDE AVE. STE 101	CLAVIS, CA 93811
509.322.1901	
TITLE	SCALE
ELEVATOR SHOPS - RAIL BRACKET DETAIL	NONE
DRAWN BY	DATE
LW/JAC	02/16/2023
REV.	REVISION
R1	
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- Notes:**
1. The maximum rail bracket spacing is 6'.
 2. The maximum combined vertical force imposed on each guide rail on application of the safety is approximately 4,800 lbs. for a total floor impact load of 9,600 lbs. This load is applied at the respective T-rail locations on the base plate and represents the design load for the pit floor.
 3. The impact load imposed on each buffer or bumper assembly is approximately 3,300 lbs. for a total floor impact load of 6,600 lbs. This load is applied at the respective buffer or bumper floor plate locations and will never coincide with the Safety Impact Load (see #2).
 4. The approximate overall static net vertical load from the elevator system is 3750 lbs. This value includes the capacity, cab, sling, ram, ram's header, and fluid weights and is applied at the ram location on the base plate. This value is included in the calculated values of Safety Impact Load (see #2) and Buffer Impact Load (see #3).
 5. The maximum working pressure of the hydraulic system is 250 psi.
 6. The hydraulic line shall be 3/4" hydraulic tubing with a .065 wall thickness or 1" schedule 80 seamless pipe.
 7. The rated speed in the down direction is 30 fpm.
 8. Hoistway to be constructed plumb and vertical within 1/4" from top to bottom.

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Owner

Consultant

Stamp

Submittal Dates

ENTITLEMENT SUBMITTAL 06.08.23
 ENTITLEMENT RE SUB. 04.04.24
 ENTITLEMENT RE SUB. 06.17.24

Rev. Description Date

P.C. CORRECTIONS 06.17.24

Project Info. Address

ENTITLEMENT

ESPERANZA

ELEVATOR LIFT SPECIFICATION

A302

Job Number: 22RHA1098
 Date: 03.20.23
 Sheet No.: